



**Case #BZA25-000017**  
**Kiawah Island BZA Meeting of December 15, 2025**

**Applicant/Property Owner:** RICHARDSON JEROME J JR TRUST

**Representative:** Robert Fleming of Classic Remodeling & Construction Inc.

**Property Location:** 44 B Eugenia

**TMS#:** 209-05-00-101

**Lot Size:** Total: 13,875 sqft (.32 acres)

**Zoning District:** R-1, Residential Zoning District

**Request:** Variance request for the reduction of the required 10' side setback for approximately 22 square feet for a proposed generator stand

**Requirement:**

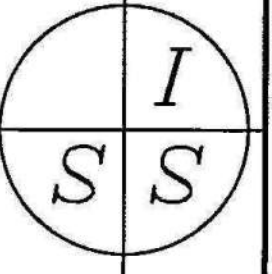
Chapter 12. Land Use Planning and Zoning, Art. II. Zoning, Div. 2. Zoning Map/Districts, Sec. 12-65. - R-1, Residential Zoning District.

Required setbacks: 25' (Front); 10' (Side); 25' (Rear)

Maximum 33% Lot Coverage

The Ordinance defines Setback as "a required minimum distance from the lot line, or street right-of-way, or OCRM critical line that establishes an area within which a structure shall be erected." The Ordinance defines Side Setback as, "any setback other than a rear or front setback."

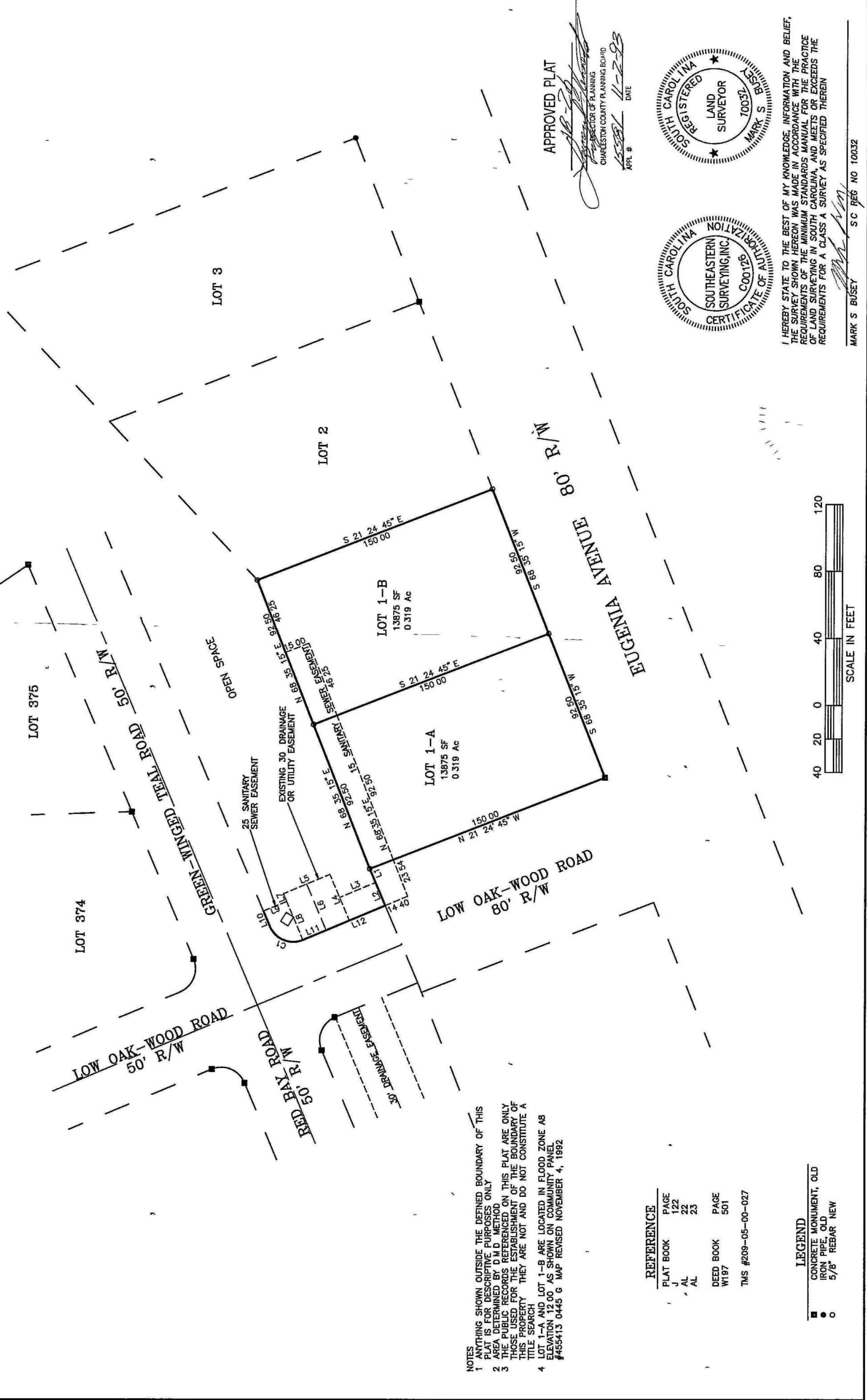
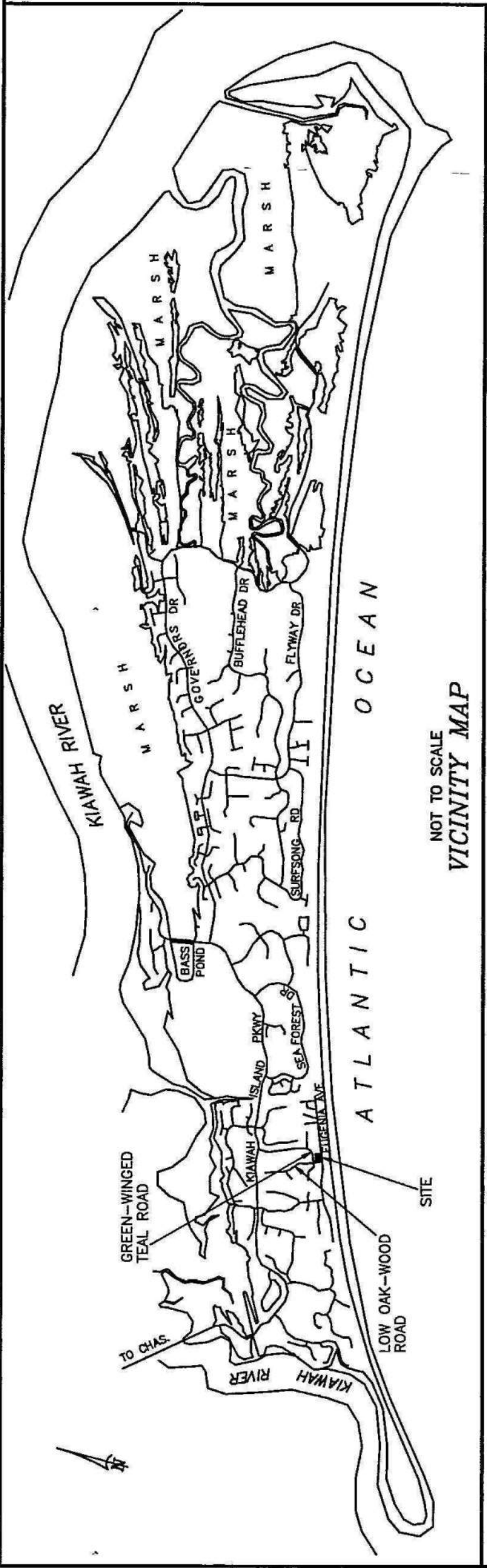
Southeastern Surveying, Inc  
 147 Wapoo Creek Drive - Suite 102  
 Charleston, South Carolina 29412  
 (803) 795-9330



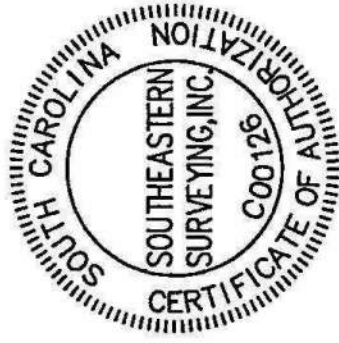
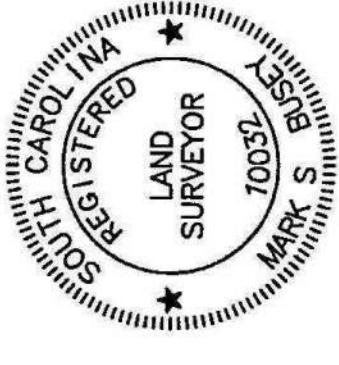
A SUBDIVISION PLAT OF  
 LOT 1 BLOCK "G" EUGENIA AVENUE  
 CONTAINING 0.638 ACRES  
 OWNED BY THE LOMBARD CORPORATION  
 LOCATED IN THE TOWN OF KIAWAH ISLAND  
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE	OCTOBER 13 1983
DRAWN	JTB
CHECK	MSB
JOB	93295
DWG	3295 DWG
COGO	3295
SHEET	1 OF 1
REV	NOVEMBER 2 1993

CURVE 1 DELTA 90°00'00" RADIUS 15.00 ARC 23.56 CHORD TANGENT 21.21 CHORD BRG 22.08°00'W  
 CH 7.263 PG 774  
 GRID NORTH SCALE 1" = 40'  
 Charleston, South Carolina  
 Office of Register Mesne Conveyances  
 Plat recorded this 8 day of January 19 96 at  
 2:55 o'clock in Plat Book EA page 9767, and tracing cloth  
 copy filed in File 22 Drawer 4 Folder 226 Drawing  
 No. 1118 Original plat (a white print) delivered  
 to Mark S. Busby



APPROVED PLAT  
 [Signature]  
 DIRECTOR OF PLANNING  
 CHARLESTON COUNTY PLANNING BOARD  
 APR. # 4-2-93 DATE



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF,  
 THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE  
 REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE  
 OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE  
 REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN  
 MARK S BUSBY SC REG NO 10032

- NOTES
- 1 ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY
  - 2 AREA DETERMINED BY D.M.D. METHOD
  - 3 THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH
  - 4 LOT 1-A AND LOT 1-B ARE LOCATED IN FLOOD ZONE AB ELEVATION 12.00 AS SHOWN ON COMMUNITY PANEL #455413 0445 G MAP REVISED NOVEMBER 4, 1992

REFERENCE

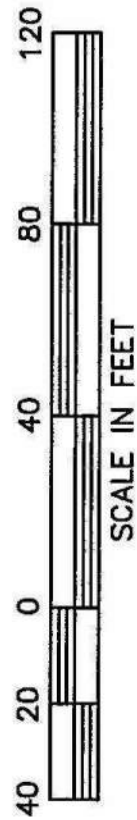
PLAT BOOK	PAGE
J	122
AL	22
AL	23

DEED BOOK	PAGE
W197	501

TMS #209-05-00-027

- LEGEND
- CONCRETE MONUMENT, OLD
  - IRON PIPE, OLD
  - 5/8" REBAR NEW



**Sec. 12-65. R-1, Residential District.**

- (a) *Purpose and intent.* The purpose of the R-1 zoning district is to promote stable residential neighborhoods consisting of low density, detached, single-family dwellings and surrounding parks, golf courses, and open spaces. Activities and endeavors which might serve to mitigate against this purpose shall be prohibited or strictly regulated.
- (b) *District regulations.* The following apply to all dwelling units in the R-1 zoning district:
  - (1) The maximum density for this district is three dwelling units per acre;
  - (2) All required parking shall be enclosed;
  - (3) Open storage is prohibited;
  - (4) Lot standards (setbacks, lot coverage, etc.) for single-family detached dwellings on existing platted lots that are included in article VII of this chapter, the Kiawah Island Property Setback Requirements Appendix, dated 7-10-2007, incorporated herein by reference and adopted hereto as said article VII shall apply in lieu of the setback requirements in table 2B following subsection (b)(6) of this section;
  - (5) Lot standards (setbacks, lot coverage, etc.) for single-family detached dwellings not covered by subsection (b)(4) of this section are listed in table 2B following subsection (b)(6) of this section and table 2C following section 12-66(b)(8);
  - (6) Authorized uses are listed in table 3A in section 12-102(c).

Lot Size (square feet)	Maximum Lot Coverage	Depth (feet)	Width (feet) <sup>(1)</sup>	Minimum Yard Setbacks (feet)			Maximum Height	
				Front <sup>(2)</sup>	Side <sup>(3)(5)</sup>	Rear <sup>(4)</sup>	(stories)	(feet)
8,000—11,999	40 percent	100	60	25	10	25	2.5	40
12,000+	33 percent	100	75	25	20	25	2.5	40

<sup>(1)</sup> For lots on cul-de-sacs or similar circumstances, the minimum width shall apply at the front yard setback line. Cul-de-sac lots shall have a minimum width of 25 feet at the street line. The minimum width of any flag lot may be reduced to 20 feet, provided that the minimum width specified in the table is provided at the front building setback line.

<sup>(2)</sup> On corner and double-frontage lots, front setback standards will apply to each lot line that borders a street right-of-way. The rear yard setback shall apply to the opposite side of the principal structure's front main entrance. The side yard setback shall apply to the remaining sides.

<sup>(3)</sup> A minimum of 15 feet must be provided between structures.

<sup>(4)</sup> The minimum yard requirements shall be increased to 30 feet from any lot or parcel boundary which abuts a golf course.

<sup>(5)</sup> Minimum setbacks in side yard for lots currently in existence and reflected on the current zoning map and fronting on Eugenia Avenue the side yard setback shall be ten feet.

(Code 1993, § 12A-205; Ord. No. 2005-08, § 12A-205, 10-12-2005; Ord. No. 2006-10, § 2, 2-6-2007; Ord. No. 2007-05, § 2(12A-205), 7-10-2007)

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## Sec. 12-64. Setbacks.

*Setback* means a required minimum distance from the lot line, or street right-of-way, or OCRM critical line that establishes an area within which a structure shall be erected.

- (1) *Contextual setbacks.* Notwithstanding the front setback requirements of the underlying zoning district, the front building line of any structure or addition to a structure may be as close to the street as the front building line of a structure located on any lot that is immediately adjacent to the subject lot. If the subject lot is located between two developed lots, the front building line of the structure that is set back further from the street shall apply to the subject lot.
- (2) *Setbacks on corner and double frontage lots.* On corner and double-frontage lots, front setback standards will apply to each lot line that borders a street right-of-way. The rear yard setback shall apply to the opposite side of the principle structure's front main entrance. The side yard setback shall apply to the remaining side(s).
- (3) *Exception to setbacks.* Every part of a required setback must be open and unobstructed from the ground to the sky except as set out in this subsection.

Driveways and walkways may be located within any required setback.

Uncovered stairs or stair landings to building entrances may extend up to five feet into any required setback.

Uncovered, at-grade patios may extend into a required setback; however, they shall maintain a minimum ten-foot distance from the property line.

Uncovered decks may extend up to five feet into any required rear yard setback.

Sills, belt courses, cornices, buttresses, eaves and other architectural features may extend up to two feet into any required setback.

Walls and retaining walls below three feet in height may be located within required setback.

- (4) *HVAC Equipment.* In all zoning districts heating, ventilation and air conditioning (HVAC) equipment and associated HVAC stands may extend up to five feet into required side or rear setbacks only when all of the following conditions are met:
  - a. The HVAC equipment is replacing existing HVAC equipment which was originally placed below an existing structure and/or which HVAC equipment being replaced is now required to be elevated to meet the requirements of the Federal Emergency Management Agency (FEMA) and the Town of Kiawah Island Building Code;
  - b. Such HVAC equipment cannot reasonably be accommodated in compliance with the setback required by otherwise applicable zoning requirements;
  - c. The property owner has, through regular mail postmarked no later than five days in advance of applying for a zoning permit, notified the affected adjacent property owner(s) that are adjacent to the property line where the proposed HVAC equipment will be located, and has submitted to the Planning Director a signed affidavit stating that such property owner has notified the affected adjacent property owner(s) and proving each name and address to which notice was sent; and
  - d. A zoning permit is approved by the Planning Director.

- (5) *Generators.* In all zoning districts generators and generator stands may extend up to five feet into required side or rear setbacks only when all of the following conditions are met:

- 
- a. The proposed generator stand is being proposed for an existing home permitted prior to November 1, 2022. Generator stands installed at the time of new construction must meet required setbacks.
  - b. The generator cannot reasonably be accommodated in compliance with the setback required by otherwise applicable zoning requirements;
  - c. The generator is located to not impede emergency access;
  - d. The property owner has, through regular mail postmarked no later than five days in advance of applying for a zoning permit, notified the affected adjacent property owner(s) that are adjacent to the property line where the proposed generator will be located, and has submitted to the Planning Director a signed affidavit stating that such property owner has notified the affected adjacent property owner(s) and proving each name and address to which notice was sent;
  - e. The generator stand is set back a distance of not less than ten feet from the adjacent side or rear property line;
  - f. The generator stand is adequately screened with plantings as determined by the Planning Director; and
  - g. A zoning permit is approved by the Planning Director.

(Code 1993, § 12A-204; Ord. No. 2005-08, § 12A-204, 10-12-2005; Ord. No. 2012-03, § 2, 4-3-2012; Ord. No. 2015-04, § 2, 4-14-2015; Ord. No. 2022-06, § 2(Exh. A), 11-1-2022)

**DUNGANNON HALL (DEVELOPED LANDS) cont.**

79	20 (Dungannon) 15 (lot 78)	10	30 (marsh)
80-81	20 (Dungannon)	10	30 (marsh)
82	20 (Dungannon) 15 (lot 83)	10	30 (marsh)
83	15 (lot 84)	10 (lot 82) 15 (open space)	30 (marsh)
84	20 (Dungannon)	10	15 (open space)
85	20 (lot 84)	15 (open space) 10 (lot 86)	25 (Gov. Dr)
86	20 (Dungannon)	15	25 (Gov. Dr)
87	20 (Dungannon)	10 (lot 86) 20 (Dungannon)	25 (Gov. Dr)

**EUGENIA AVENUE (DEVELOPED LANDS)**

<u>Lot</u>	<u>Front</u>	<u>Side</u>	<u>Rear</u>
1A	30	40 (P. O. Pool) 10 (lot 1B)	30
1B	30	20 (lot 1A) 10 (lot 3)	30
2-17	25	10	25
19	25 (Eugenia)	15	Det. by adj. lots
21-27	25	10	25
28	25 (Eugenia)	15	30 (lagoon)
29-35	25	10	25
36	25 (Eugenia)	15	30 (lagoon)
37-41	25	10	25
43A	25 (Eugenia)	15 10 <i>AMM 2/22/01</i>	Det. by adj. lots
43B	25 (Eugenia)	15 10 <i>AMM 2/22/01</i>	Det. by adj. lots
44A	25 (Eugenia)	10	25
<b>44B</b>	<b>25 (Eugenia)</b>	<b>10</b>	<b>25</b>
45	25 (Eugenia)	10	25
46	25 (Eugenia)	15	20 (open space)
47	25 (Eugenia)	10	25
48	25 (Eugenia)	15	20 (open space)

**EUGENIA AVENUE (DEVELOPED LANDS) cont.**

49-55	25 (Eugenia)	15	Det. by adj. lots
56	25 (Eugenia)	15	20 (open space)
57	25 (Eugenia)	15	Det. by adj. lots
58-60	25 (Eugenia)	10	25
61A	26 (Eugenia)	10	25
61B	25 (Eugenia)	10	25
63A	25 (Eugenia)	10	25
63B	25 (Eugenia)	10	25
65	25 (Eugenia)	10	25
67	25 (Eugenia)	10	25
69	25 (Eugenia)	10	25
71	25 (Eugenia)	15	Det. by adj. lots
73	25 (Eugenia)	10	25
75	25 (Eugenia)	10	25
77	25 (Eugenia)	10	25

**EVENING BEND (INLET COVE) (DEVELOPED LANDS)**

<u>Lot</u>	<u>Front</u>	<u>Side</u>	<u>Rear</u>
14-15	25	15	20
16	25	15	20
17	20	7	15
18	20	7	15

**FALCON POINT (UNDEVELOPED LANDS)**

<u>Lot</u>	<u>Front</u>	<u>Side</u>	<u>Rear</u>
1	25	50 (Gov. Dr) 15 (lot 2)	20
2	20 (lot 1)	50 (Gov. Dr) 20 (lot 3)	30 (See Graphic)
3	20	20	See Graphic
4	25	20	30 (See Graphic)
5	25	20	See Graphic
6-7	25	15	See Graphic

**Staff Review:**

The applicant, RICHARDSON JEROME J JR TRUST, is represented by Robert Fleming of Classic Remodeling & Construction Inc., in requesting a variance for the reduction of the required 10-foot side setback by approximately 22 square feet for the installation of a proposed generator stand located at 44 B Eugenia Avenue, Kiawah Island, SC (TMS# 209-05-00-101). The subject property is located within the R-1, Residential Zoning District of Kiawah Island.

The subject parcel is approximately 13,875 square feet (0.32 acres) in size. The surrounding properties within the vicinity of 44 B Eugenia are also located in the R-1, Residential Zoning District. The property adjacent to the east of the subject property is undeveloped. There is a 15' sewer easement located at the rear of the property. The subject property is not subject to review by the Kiawah Island Architectural Review Board.

The Town of Kiawah Island Land Use Planning and Zoning Ordinance allows a maximum lot coverage of 33% for the subject property. The Ordinance also requires a front setback of 25 feet, a rear setback of 25 feet and side setbacks of 10 feet. The Ordinance defines Setback as *"a required minimum distance from the lot line, or street right-of-way, or OCRM critical line that establishes an area within which a structure shall be erected."* The Ordinance defines Side Setback as, *"any setback other than a rear or front setback."*

According to Charleston County records, the home was acquired by the the Richardson's in May of 2015 (Book 0478, Page 252). The subject property is currently developed with a single-family residence. The current lot coverage is 24.3%.

The applicant's proposed plans include a generator stand on the right side of the home inside the right-side setback. The proposed generator stand extends approximately 3 ft. 9 ½ inches into the required 10-foot right side setback. The distance from the generator stand and the property line is approximately 6 ft. 2 ½ inches. The dimensions of the proposed generator stand are approximately 7 ft. by 2 ft. 10 & ½ inches. The total encroachment into the required right-side setback is approximately 22 square feet. There are no proposed changes to the building footprint. The proposed lot coverage is 24.4%.

The Town of Kiawah Island Land Use Planning and Zoning Ordinance Article II. – Zoning, Division 2. – Zoning Map/Districts, Section 12-64. Setbacks states: *"(5) Generators. In all zoning districts generators and generator stands may extend up to five feet into required side or rear setbacks only when all of the following conditions are met:*

- a. The proposed generator stand is being proposed for an existing home permitted prior to November 1, 2022. Generator stands installed at the time of new construction must meet required setbacks.*
- b. The generator cannot reasonably be accommodated in compliance with the setback required by otherwise applicable zoning requirements;*
- c. The generator is located to not impede emergency access;*
- d. The property owner has, through regular mail postmarked no later than five days*

*in advance of applying for a zoning permit, notified the affected adjacent property owner(s) that are adjacent to the property line where the proposed generator will be located, and has submitted to the Planning Director a signed affidavit stating that such property owner has notified the affected adjacent property owner(s) and proving each name and address to which notice was sent;*

*e. The generator stand is set back a distance of not less than ten feet from the adjacent side or rear property line;*

*f. The generator stand is adequately screened with plantings as determined by the Planning Director; and*

*g. A zoning permit is approved by the Planning Director.”*

Pursuant to the conditions of Sec. 12-64. Setbacks. the proposed generator is less than ten feet from the adjacent side property line, and therefore does not qualify for the administrative relief.

Please see the attachments for additional information regarding this request. A site inspection was conducted on November 25, 2025. The following determinations were made regarding the Approval Criteria for Variances, as stated in Chapter 12 of the Town of Kiawah Island Land Use Planning and Zoning Ordinance, Article II, Division 5, Section 12-163.(4):

**Staff Findings:**

The BZA may grant a variance only if exceptional circumstances exist, and where practical difficulty or unnecessary hardship is so substantial, serious, and compelling that relaxation of the general restrictions ought to be granted. No variance shall be granted unless the applicant shall show and the BZA shall find that:

§ 12-163.(4)a.: *There are extraordinary and exceptional conditions pertaining to the particular piece of property;*

**Staff Response:** **There may be extraordinary and exceptional conditions pertaining to the property due to the existing building footprint and required safety clearances for the proposed generator. Per the applicant’s letter of intent, “*The existing home’s structure and elevated design severely limit options for placing a generator that maintains necessary distance from the structure itself, especially in a side yard setting. Required Clearances: The proposed generator must adhere to strict manufacturer and safety code requirements (NEC, IRC) regarding clearance from flammable materials, windows/doors/vents, and utilities. The installation of the platform and generator at the proposed location is the minimum necessary distance to meet these non-negotiable safety and operational standards while fitting within the limited available area. Utility Infrastructure: The location is dictated by its proximity to existing electrical infrastructure***

***(meter) and the most efficient path for gas and electrical lines, minimizing disruption and cost.***

§ 12-163.(4)b.: *These conditions do not generally apply to other property in the vicinity;*

**Staff Response:** **These conditions may be unique to the subject property and may not generally apply to other properties in the vicinity. Existing structures in the vicinity may or may not have similar encroachments based on current setback standards. The applicant provided a letter of support from the adjacent neighbor at 46 Eugenia directly adjacent to the proposed generator stand. Per the applicant's letter of intent, "*While other properties on Eugenia Avenue may possess similar building setbacks, the combination of this specific home's floorplan, its fixed orientation on the lot, and the critical need to comply with essential generator safety clearances creates a unique and exceptional constraint on the utilization of the available side setback area.*"**

§ 12-163.(4)c.: *Because of these conditions, the application of this Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property;*

**Staff Response:** **The application of this *Ordinance* to 44B Eugenia Ave would prohibit the construction of the proposed addition as the proposed structure would encroach into the required 10 ft. side setback. However, it would not unreasonably restrict the utilization of the property. Per the applicant's letter of intent, "*Prohibition of Essential Infrastructure: Strict adherence would prevent the installation of essential backup power infrastructure, unreasonably restricting the utilization and habitability of the home during frequent power outages associated with severe weather. No Compliant Alternative: Relocating the generator to a position that fully complies with the 10-foot setback would either: (1) place it too close to the main dwelling or utility lines, violating safety and fire codes, or (2) place it in an entirely impractical or un-serviceable location, rendering the installation infeasible.*"**

§ 12-163.(4)d.: *The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district will not be harmed by the granting of the variance;*

**Staff Response:** **The authorization of this variance may not be of substantial detriment to the adjacent properties or the public good. The proposed generator stand is positioned on the right side of the home. The neighboring property to the right has provided a letter of support. Per the applicant's letter of intent, "*Minimal Encroachment: The requested variance of 3 feet, 9.5 inches is minimal and is necessary to accommodate a structure (a generator stand) that is approximately 22 square feet in size.*"**

**Visual and Sound Mitigation: The generator will be mounted on a stand and fully screened on all three exposed sides with a 1x6 painted screen to minimize any immediate visual impact. Furthermore, the homeowner is working with a licensed landscape architect and will be providing a detailed planting plan to further conceal the visual and auditory presence of the generator on the lot. Adjacent Property Owner Support: The homeowner also owns the adjacent property (Lot 2) and has submitted a letter confirming review of the plans and explicitly stating that they have no issue with the proposed variance, ensuring no detriment to the closest neighbor. Noise Impact: Modern generators are designed to operate at acceptable noise levels and will only run during power loss events or short, automated, weekly testing periods. Enhanced Public Good: The installation of reliable backup power enhances the safety and resilience of the home, which is consistent with the public good, particularly during island-wide storm events.**

§ 12-163.(4)e.: *The Board of Zoning Appeals shall not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land, or to change the zoning district boundaries shown on the official zoning map;*

**Staff Response: Granting of this variance would not allow the establishment of a use not otherwise permitted in this zoning district, extend physically a non-conforming use of land, or change the zoning district boundaries. Per the applicant's letter of intent, "This variance request seeks to permit an accessory structure (a residential backup generator) which is a use already permitted in the residential zoning district. It does not seek to establish a new use, extend a nonconforming use, or alter zoning boundaries."**

§ 12-163.(4)f: *The fact that property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance;*

**Staff Response: The BZA may not consider profitability when considering this variance request. Per the applicant's letter of intent, "The need for this variance is based purely on functional necessity and emergency preparedness for the existing residential use, not for economic gain or profitability."**

§ 12-163.(4)g.: *The need for the variance shall not be the result of the applicant's own actions;*

**Staff Response: The need for the variance may not be the result of the applicant's own actions. Per the applicant's letter of intent, "Pre-existing Constraints: The factors limiting placement (the existing dwelling location, lot size, and necessary utility clearances) are conditions that pre-date this application."**

***Standard Necessity: The desire to install backup power is a reasonable and now standard residential improvement on Kiawah Island, and the variance is required solely to meet essential, mandated safety and operational clearances at the only viable location.***

§ 12-163.(4)h.: *Granting the variance will not be contrary to the public or neighborhood interest nor will not adversely affect other property in the vicinity, nor interfere with the harmony, spirit, intent and purpose of these regulations;*

**Staff Response:** **The variance, if granted, may not be contrary to the public or neighborhood interest, nor adversely affect other properties in the vicinity. The proposed generator stand is located on the right side of the residence. Per the applicant's letter of intent, *"Minimal Intrusion: The minor, screened encroachment (3'-9 1/2") on the side setback is situated between two structures and will not interfere with light, air, or access for the neighboring property. The applicant's dual ownership of the adjacent lot guarantees neighborhood harmony. Responsible Improvement: The project represents a responsible improvement to the property, supporting safety and livability without compromising the residential character or the intent of the zoning regulations, which aim to protect the quality of life and aesthetics of the Town.***

§ 12-163.(4)i.: *Granting of the variance does not substantially conflict with the Comprehensive Plan or the purposes of this Ordinance.*

**Staff Response:** **Granting of the variance may not substantially conflict with the Comprehensive Plan or the purposes of the Ordinance. Per the Applicants letter of intent, *"Infrastructure and Resilience: The installation of backup power aligns with the Comprehensive Plan's goals of providing adequate infrastructure and enhancing community resilience, especially in a coastal environment prone to power disruption. Orderly Development: The variance supports orderly development by allowing necessary safety infrastructure under conditions where strict compliance is impractical, all while mandating aesthetic screening measures (including the Landscape Architect-designed planting plan) to mitigate visual impact.***

**Board of Zoning Appeals' Action:**

The Board of Zoning Appeals may approve, approve with conditions or deny Case #BZA25-000017 (Variance for the reduction of the required 10-foot side setback by approximately 22 square feet for the installation of a proposed generator stand located at 44B Eugenia Ave, Kiawah Island, SC (TMS# 209-05-00-101)) based on the BZA's

“Findings of Fact”, unless additional information is deemed necessary to make an informed decision.

**Should the Board of Zoning Appeals consider approval of this variance request, planning staff request the following conditions of approval:**

**1. The applicant shall submit a landscape plan to be approved by the Planning Director providing appropriate screening for the proposed encroachment.**

# Town of Kiawah Island Board of Zoning Appeals

December 15, 2025



**CASE# BZA25-000017**

<b>Applicant/Property Owner:</b>	<b>RICHARDSON JEROME J JR TRUST</b>
<b>Representative:</b>	<b>Robert Fleming of Classic Remodeling &amp; Construction Inc.</b>
<b>Property Location:</b>	<b>44B Eugenia Ave</b>
<b>TMS#:</b>	<b>209-05-00-101</b>
<b>Lot Size:</b>	<b>Total: 13,875 sqft (.32 acres)</b>
<b>Zoning District:</b>	<b>R-1, Residential Zoning District</b>
<b>Request:</b>	<b>Variance request for the reduction of the required 10' side setback for approximately 22 square feet for a proposed generator stand</b>

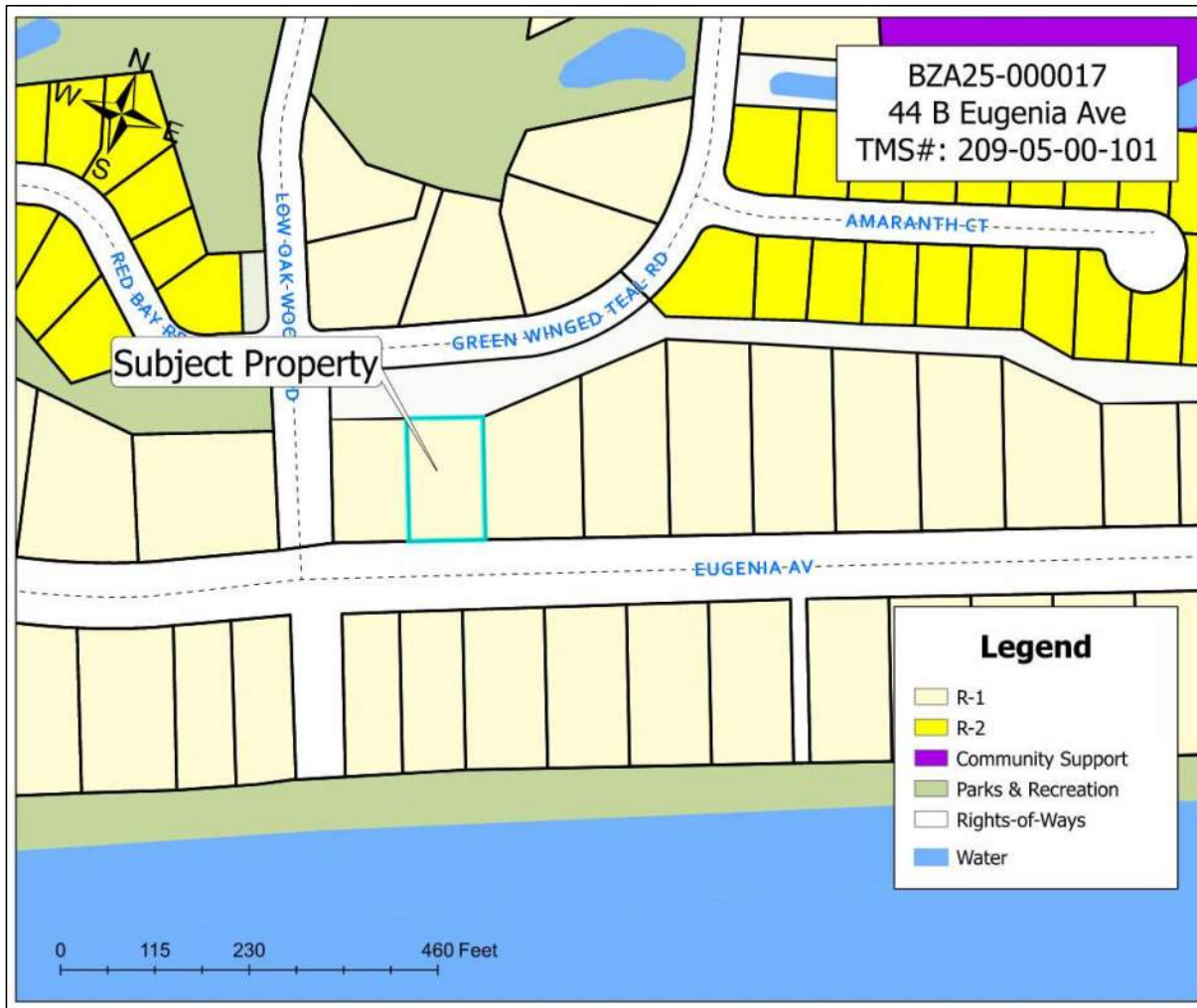
## **CASE# BZA25-000017**

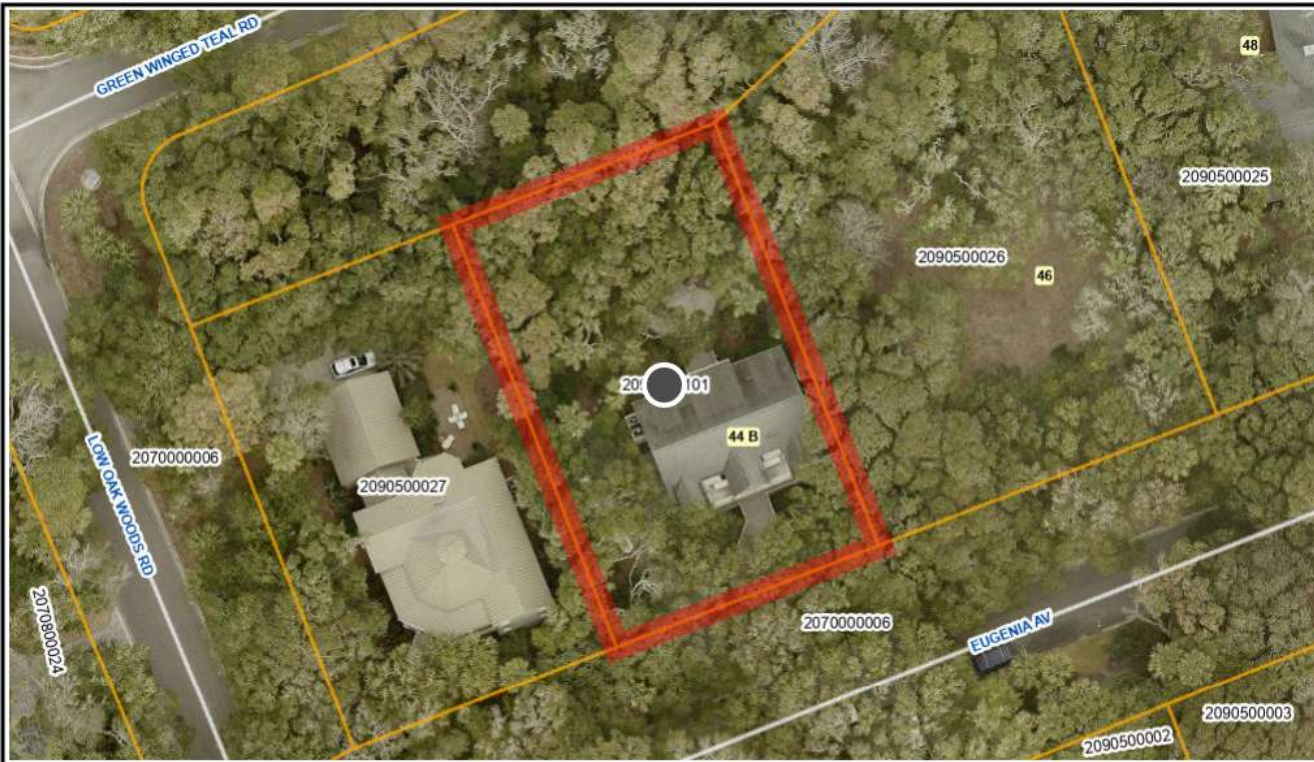
**Chapter 12. Land Use Planning and Zoning, Art. II. Zoning, Div. 2. Zoning Map/Districts, Sec. 12-65. - R-1, Residential District.**

**Required setbacks: 25' (Front); 10' (Side); 25' (Rear)**

**Maximum 33% Lot Coverage**

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**BZA 25-00017**

**PID:** 2090500101 ISLAND

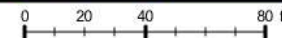
**OWNER1:** RICHARDSON JEROME J JR TRUST

**PLAT BOOK PAGE:** EA-946

**DEED BOOK PAGE:** 0478-252

**Jurisdiction:** TOWN OF KIAWAH

**Note:** The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.



1 inch = 41 feet



Author: Charleston County SC  
Date: 12/5/2025

**Case # BZA25-000017**  
**BZA Meeting of December 15, 2025**  
**Subject Property: 44B Eugenia Ave– Kiawah Island**

Variance request for the reduction of the required 10' side setback for approximately 22 square feet for a proposed generator stand



# Property Front



# Adjacent Properties



## Adjacent Properties



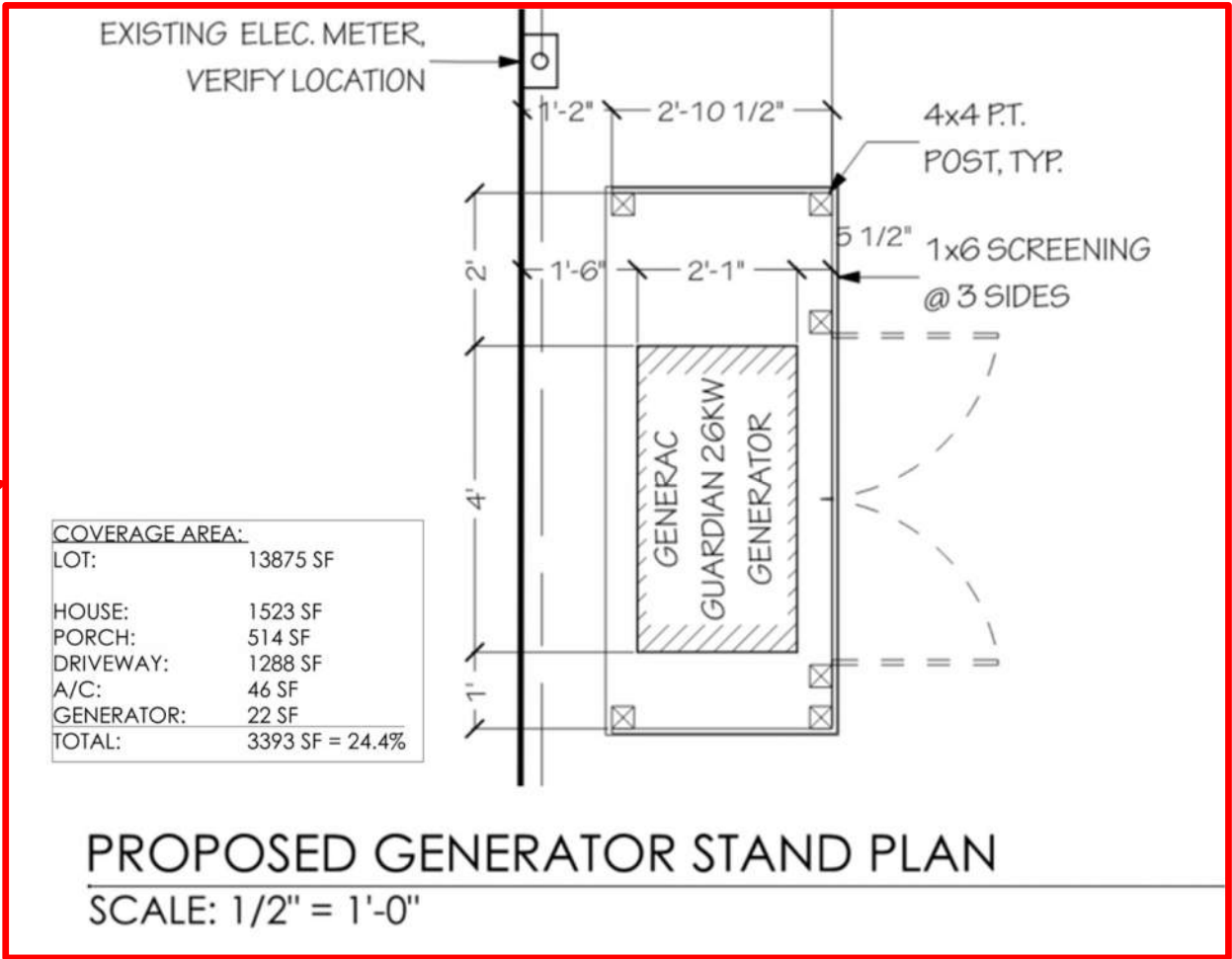
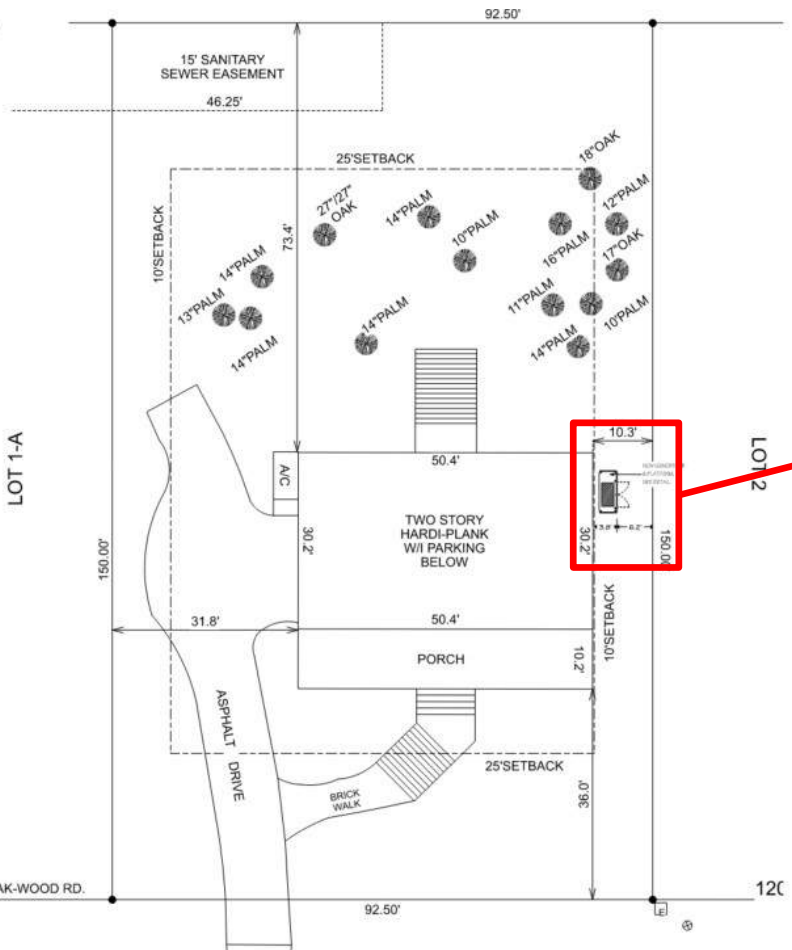
## Property Rear



## Subject Property



# Proposed Site Plan



**COVERAGE AREA:**

LOT:	13875 SF
HOUSE:	1523 SF
PORCH:	514 SF
DRIVEWAY:	1288 SF
A/C:	46 SF
GENERATOR:	22 SF
<b>TOTAL:</b>	<b>3393 SF = 24.4%</b>

**PROPOSED GENERATOR STAND PLAN**  
 SCALE: 1/2" = 1'-0"

## Variance Approval Criteria

According to Chapter 12 of the Land Use Planning and Zoning Ordinance of the Town of Kiawah Island Code of Ordinances, Section 12-163. Variances (4) Approval Criteria, the Board of Zoning Appeals may grant a variance only if exceptional circumstances exist, and where practical difficulty or unnecessary hardship is so substantial, serious, and compelling that relaxation of the general restrictions ought to be granted. No variance shall be granted unless the applicant shall show and the BZA shall find that:

- a) There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- b) These conditions do not generally apply to other property in the vicinity;
- c) Because of these conditions, the application of this Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property;
- d) The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district will not be harmed by the granting of the variance;

## Variance Approval Criteria

- e) The Board of Zoning Appeals shall not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land, or to change the zoning district boundaries shown on the official zoning map;**
- f) The fact that property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance;**
- g) The need for the variance shall not be the result of the applicant's own actions;**
- h) Granting the variance will not be contrary to the public or neighborhood interest nor will not adversely affect other property in the vicinity, nor interfere with the harmony, spirit, intent and purpose of these regulations;**
- i) Granting of the variance does not substantially conflict with the Comprehensive Plan or the purposes of this Ordinance.**

## Board of Zoning Appeals Action

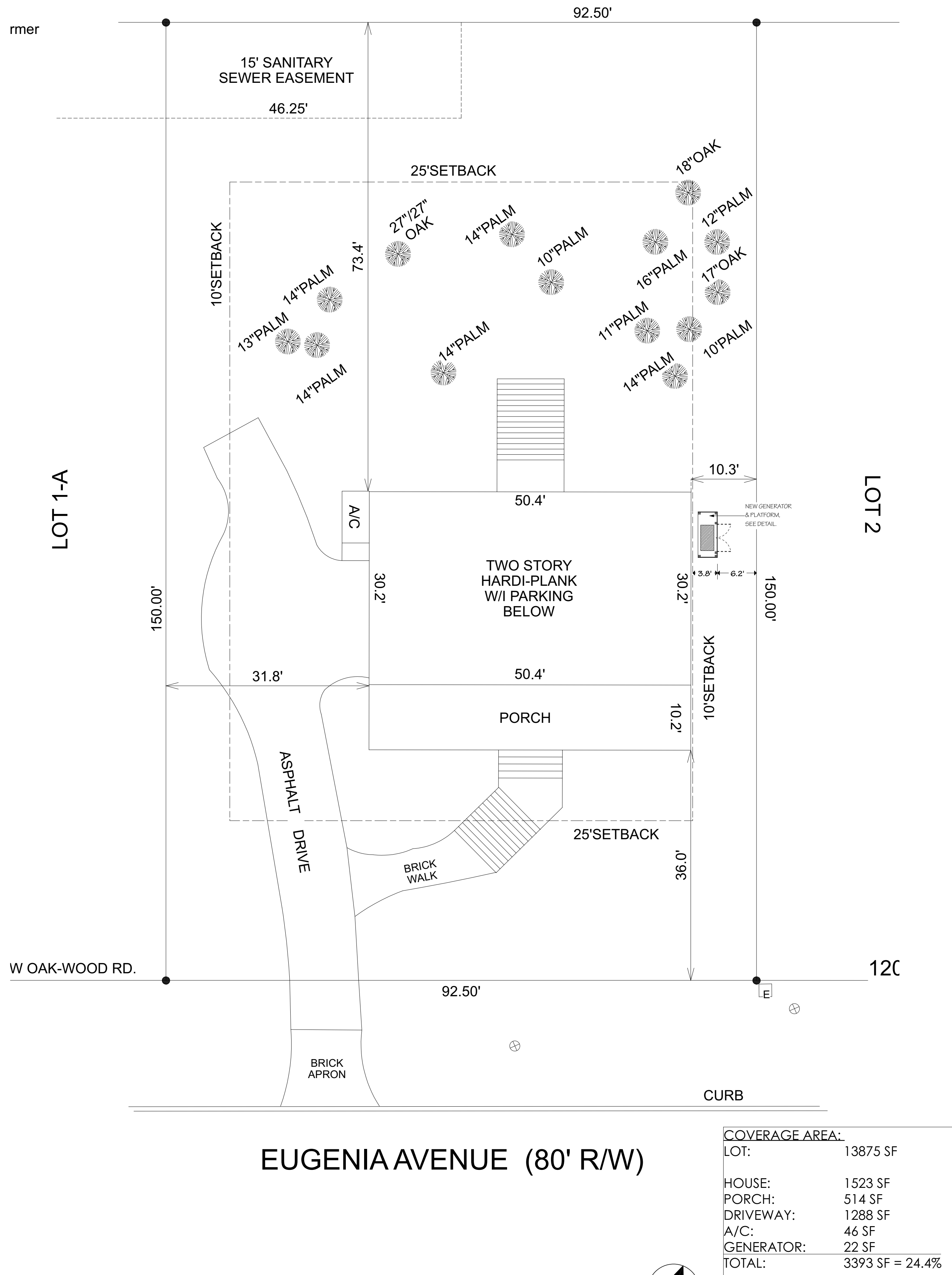
The Board of Zoning Appeals may approve, approve with conditions or deny Case #BZA25-000017 (Variance request for the reduction of the required 10' side setback for approximately 22 square feet for a proposed generator stand located at 44B Eugenia Ave, Kiawah Island, SC (TMS # 209-05-00-101)) based on the BZA's "Findings of Fact", unless additional information is deemed necessary to make an informed decision.

In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to protect established property values in the surrounding area, or to promote the public health, safety, or general welfare.

**Should the Board of Zoning Appeals consider approval of this variance request, planning staff request the following conditions of approval:**

- 1. The applicant shall submit a landscape plan to be approved by the Planning Director providing appropriate screening for the proposed encroachment.**

THESE DOCUMENTS ARE PREPARED FOR USE BY CLASSIC REMODELING & CONSTRUCTION, INC. (HEREINAFTER REFERRED TO AS CONTRACTOR) WITH THE ASSUMPTION THAT THIS PROJECT WILL BE BUILT ACCORDING TO THE MANAGEMENT SYSTEMS AND CONSTRUCTION TECHNIQUES OF CONTRACTOR. USE OF THE DOCUMENTS BY ANYONE OUTSIDE THE CONTRACTORS CONTROL SHALL RELIEVE CONTRACTOR OF ANY AND ALL LIABILITIES.



**COVERAGE AREA:**

LOT:	13875 SF
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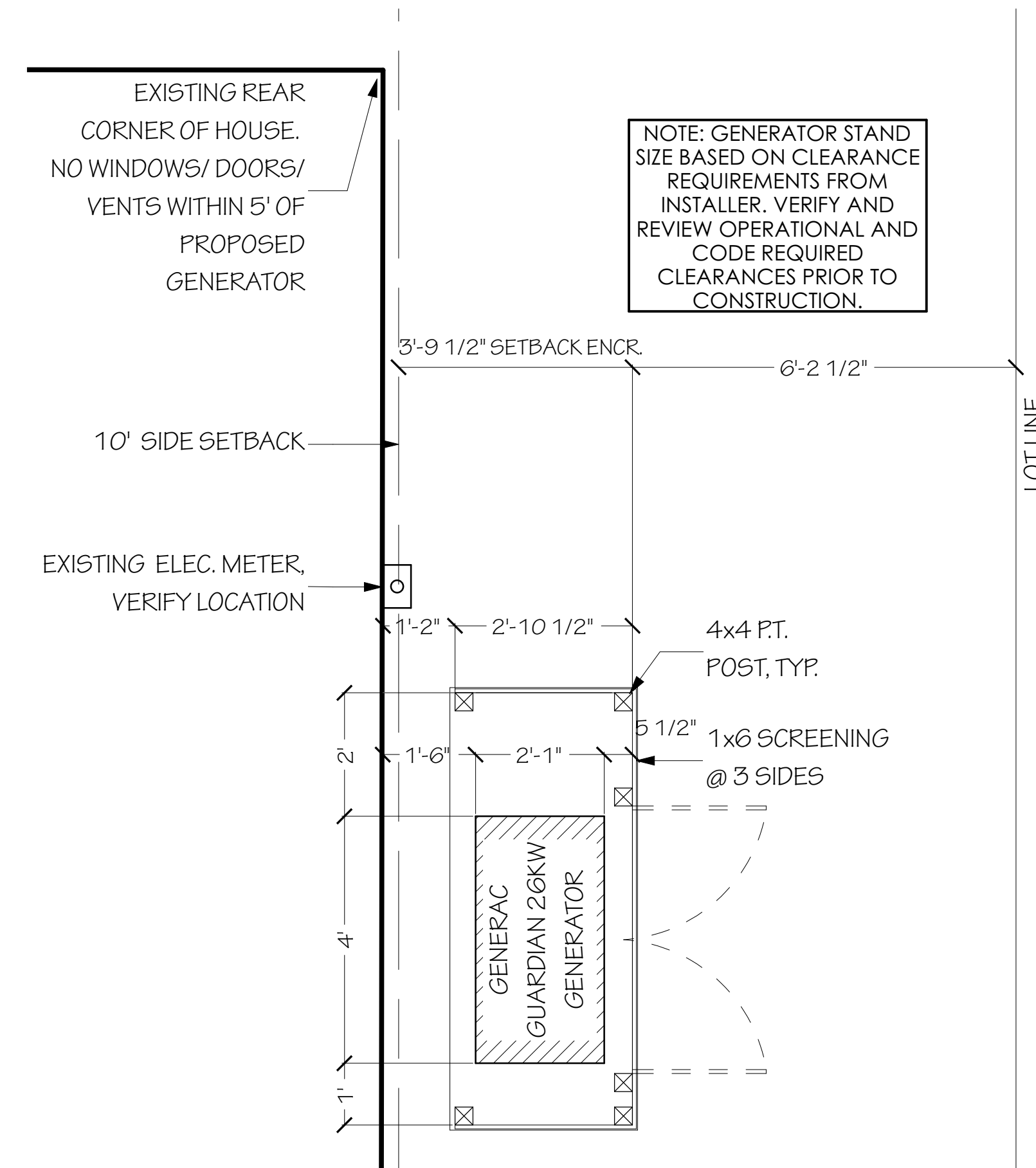
**PROPOSED SITE PLAN**  
SCALE: 1" = 10'-0"

**GENERAL SCOPE OF WORK**

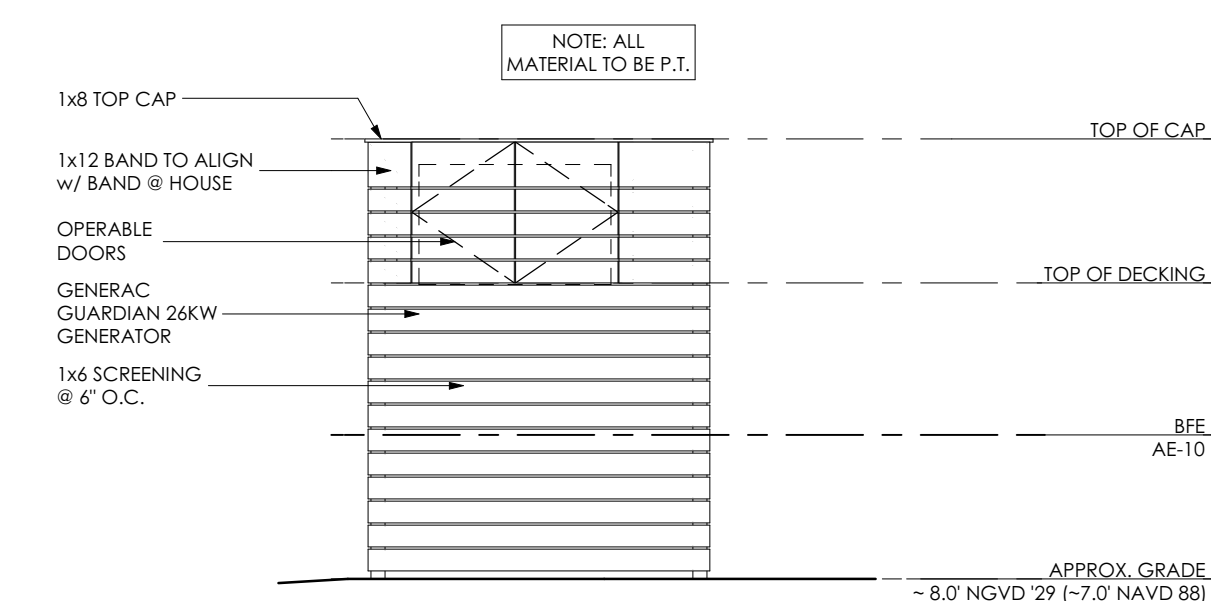
A NEW WHOLE HOME GENERATOR & EQUIPMENT PLATFORM  
NOTE: 22 SF OF ENCROACHMENT INTO SIDE SETBACK. ZONING VARIANCE REQUIRED

**LOT INFO**

TMS#: 209-05-00-101  
 JURISDICTION: KIAWAH ISLAND  
 NEIGHBORHOOD: EUGENIA AVE.  
 FLOOD ZONE: AE-10 45019C0805K (1/29/21)  
 SETBACKS: 25' FRONT, 25' REAR, 10' SIDE  
 PROPOSED LOT COVERAGE: SEE SITE PLAN CHART  
 IMPROVEMENTS VALUE: \$2,207,800 (2025 CHARLESTON COUNTY)  
 RELEVANT CODES: 2021 IRC, 2020 NEC



**PROPOSED GENERATOR STAND PLAN**  
SCALE: 1/2" = 1'-0"



**PROPOSED GENERATOR STAND ELEVATION**  
SCALE: 1/4" = 1'-0"

1832 RIVER ROAD  
JOHNS ISLAND, SC 29455  
843.763.3297  
WWW.CLASSICREMODELING.COM

THE RICHARDSON RESIDENCE  
**44-B EUGENIA AVE.**  
NEW GENERATOR & PLATFORM

FLOOR PLANS

PROJECT #: 29xx  
DATE: 10.23.2025  
DESIGN BY: ...  
SCALE: AS NOTED  
SHEET:

**A-1.0**

THESE DOCUMENTS ARE PREPARED FOR USE BY CLASSIC REMODELING & CONSTRUCTION, INC. (HEREINAFTER REFERRED TO AS CONTRACTOR) WITH THE ASSUMPTION THAT THIS PROJECT WILL BE BUILT ACCORDING TO THE MANAGEMENT SYSTEMS AND CONSTRUCTION TECHNIQUES OF CONTRACTOR. USE OF THE DOCUMENTS BY ANYONE OUTSIDE THE CONTRACTORS CONTROL SHALL RELIEVE CONTRACTOR OF ANY AND ALL LIABILITIES.

GENERAL NOTES:

- FOUNDATION AND STRUCTURAL MEMBERS SHALL BE ANCHORED TO RESIST FLOTATION, COLLAPSE & LATERAL MOVEMENT DUE TO THE EFFECTS OF WIND AND WATER ASSOCIATED WITH THE BASE FLOOD ELEVATION AND IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE 2021 (OR LATEST ADOPTED EDITION).
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR THE STABILITY OF THE STRUCTURE DURING ALL PHASES OF THE CONSTRUCTION PROCESS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL OPENINGS. REFER TO THE MECHANICAL AND ELECTRICAL PLANS FOR SIZE AND LOCATION OF ALL OPENINGS FOR DUCTS, PIPES, CONDUITS, ETC. NOT SHOWN.
- IN CASE OF CONFLICT BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE SUBSTANTIAL REQUIREMENT SHALL BE ASSUMED TO GOVERN UNTIL A RULING IS MADE BY THE ARCHITECT AND/OR ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR ALL STRUCTURAL COMPONENTS THAT REQUIRE SHOP DRAWINGS. STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTIONS SHEETS, OR CONSTRUCTION DRAWINGS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND ONE SET OF PRINTS FOR REVIEW AND APPROVAL. THE PRINTS SHALL BE CLEARLY MARKED "FOR FILE". SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND CONSTRUCTION PROCEDURES PRIOR TO REVIEW BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. PROCEEDING WITH THE WORK WITHOUT APPROVED SHOP DRAWINGS SHALL BE AT CONTRACTORS OWN RISK.
- THE CONTRACTOR SHALL BUILD THIS PROJECT IN STRICT ACCORDANCE WITH THE MOST CURRENT EDITION OF ALL APPLICABLE CODES AND STANDARDS THAT GOVERN THE WORK.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY ERROR OR INCONSISTENCIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL DROPPED FLOOR AREAS, FLOOR DRAINS, AND ANY OTHER DETAILS NOT SHOWN ON STRUCTURAL PLANS THAT AFFECT THE WORK.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS THAT RELATE TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT THE ARCHITECT AND/OR ENGINEER.

GEOTECHNICAL:

- THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS INDICATED IN THE GEOTECHNICAL REPORT, IF SUPPLIED. ALL GEOTECHNICAL QUESTIONS ARE TO BE DIRECTED TO THE GEOTECHNICAL ENGINEER VIA THE ARCHITECT IN WRITING.
- IF THIS FOUNDATION DESIGN HAS BEEN PREPARED IN THE ABSENCE OF SOIL REPORTS, A SOIL BEARING CAPACITY OF 1500 PSF IS TO BE ASSUMED. THE REASONABLENESS OF THIS ASSUMPTION SHOULD BE VERIFIED PRIOR TO THE COMMENCEMENT OF FOUNDATION WORK FOR THIS PROJECT.
- TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 8" BELOW THE FINISHED GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY AND ALL EXCAVATION SLOPES OR ANY OTHER EXCAVATION SITUATIONS.
- THE EXPOSED SOIL SURFACE AFTER EXCAVATION SHALL BE COMPACTED TO A MINIMUM OF 98% OF THEIR STANDARD PROCTOR MAXIMUM DRY DENSITY TO COMPLY WITH ASTM D698 TO A DEPTH OF 8".

CONCRETE:

- ALL CONCRETE AND REINFORCING SHALL BE INSTALLED TO COMPLY WITH THE STANDARDS SET FORTH IN THE LATEST EDITION OF ACI-318.
- INSTALL CONCRETE AS REQUIRED; IF REQUIRED, ADDITIONAL REINFORCEMENT SHALL BE PROVIDED BY THE CONTRACTOR TO PROVIDE SUPPORT FOOTINGS.
- INSTALL CONCRETE AS REQUIRED.
- CONCRETE PADS SHALL BE SIZED AND LOCATED PER THE ARCHITECTURAL DRAWINGS, AS WELL AS THE MECHANICAL AND ELECTRICAL PLANS IN ADDITION TO THE STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR MEMBERS ARE PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING ANY CONCRETE. THE REBAR IS TO REMAIN IN POSITION DURING CONCRETE PLACEMENT. PROVIDE 3" CONCRETE COVER FOR ALL REINFORCEMENT IN FOUNDATIONS.
- NON-SHRINK POURABLE GROUT SHALL BE USED UNDER ALL COLUMN AND BEAM BASE PLATES ONCE MATERIAL IS SET, PLUMB AND LEVEL.
- ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60. MINIMUM LAP SHALL COMPLY WITH ACI-318.
- ALL WELDED WIRE FABRIC SHALL BE OVERLAPPED 1'-0" MINIMUM, AT SIDES AND ENDS AND BE ADEQUATELY TIED. FIBERMESH MAY BE USED AS AN OPTION.
- ALL CONCRETE WITH A VERTICAL LIFT OF 12' OR MORE SHALL BE COMPACTED WITH HIGH FREQUENCY, INTERNAL MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND SPADING AND TAMPING AS NECESSARY.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WITH CONCRETE BEING PLACED AND CURED DURING VERY COLD OR VERY HOT WEATHER. THE CONTRACTOR SHALL FOLLOW THE PROCEDURES ESTABLISHED BY THE ACI FOR HOT AND COLD WEATHER PLACEMENT.
- SLABS ON GRADE SHALL BE REINFORCED WITH W6x6 W1.4XW1.4 WWM OR FIBERMESH ON COMPACTED SUBGRADE W/ 6 MIL POLY VAPOR BARRIER.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE ENGINEER.
- CHAMFER ALL EXPOSED CONCRETE EDGES 3/4".
- PROVIDE CONTROL JOINTS IN SLABS SO THAT THE GROUND SLAB LENGTH TO WIDTH RATIO DOES NOT EXCEED 1.5. (MAX PANEL SIZE = 300 SF).
- ALL CONCRETE SHALL NOT EXCEED 4" SLUMP.
- THE 28 DAY COMPRESSIVE STRENGTH FOR ALL CONCRETE SHALL BE:  
FOOTINGS-----3000 PSI  
SLABS ON GRADE-----3000 PSI  
STEPS ON GRADE-----3000 PSI  
COLUMNS-----4000 PSI  
PIERS-----4000 PSI

MASONRY:

- FOR ALL BEAM BEARING LOCATIONS ON MASONRY WALLS, CONTRACTOR SHALL FILL MASONRY CELLS WITHIN 2'-0" OF BEAM BEARING WITH A MINIMUM 3000 PSI PEA GRAVEL CONCRETE. A #5 BAR SHALL BE SUPPLIED IN EACH OF THESE CELLS AND TIED TO THE FOOTING REINFORCEMENT.
- A #5 BAR SHALL BE PLACED AT EACH SIDE, TOP, AND BOTTOM OF ALL OPENINGS. ALL HORIZONTAL AND VERTICAL REINFORCING SHALL EXTEND A MINIMUM OF 30" BEYOND THE OPENING.
- ALL LINTEL BEAMS SHALL BEAR A MINIMUM OF 12" ON EACH SIDE OF THE OPENINGS. ALL CELLS UNDER THE BEARING POINTS SHALL BE REINFORCED WITH A #5 BAR IN EACH CELL AND BE TIED TO THE FOOTING REINFORCEMENT.
- CONCRETE MASONRY SHALL HAVE A MINIMUM F<sub>b</sub> OF 1500 PSI. THIS IS ACHIEVED BY A CONCRETE BLOCK MASONRY UNIT WITH A NET AREA COMPRESSIVE STRENGTH OF 2000 PSI WHEN USED WITH TYPE M OR S MORTAR.
- THE CONTRACTOR SHALL INSTALL REINFORCEMENT PLACEMENT WALL TIES TO ENSURE THAT REINFORCEMENT IS PROPERLY PLACED.

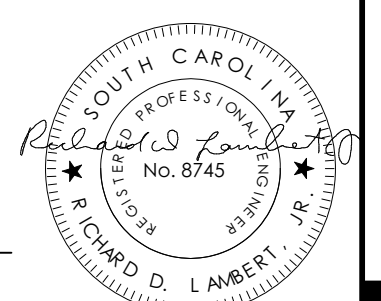
- ALL RUNNING BOND MASONRY SHALL HAVE 9 GAUGE GALV. LADDER TYPE JOINT REINFORCEMENT @ 16" O.C. VERTICALLY. AL ALL WALL CORNERS AND ALL INTERSECTIONS PREFORMED BED JOINT REINFORCEMENT SHALL BE USED.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WHEN MASONRY WORK IS TO BE ERECTED DURING COLD WEATHER (AMBIENT TEMPERATURE BELOW 40° F). DURING HOT WEATHER (ABOVE 90° F) PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EXCESS HEAT OR COLD IN THE MASONRY UNITS, WATER, AND MORTAR. THE CONTRACTOR IS TO BE ADVISED TO FOLLOW THE RECOMMENDATIONS SET FORTH BY THE PORTLAND CEMENT ASSOCIATION FOR COLD OR HOT WEATHER APPLICATIONS.
- FILL ALL CELLS BELOW FLOOR FRAMING (RETAINING WALLS) OR CONTAINING REINFORCEMENT WITH 2000 PSI PEA GRAVEL GROUT. PLACE CONCRETE IN LIFTS THAT ARE NO HIGHER THAN 5 FEET. ALL MASONRY UNITS SHALL BE CLEAN AND DRY PRIOR TO FILLING WITH CONCRETE. REINFORCING SHALL BE TIED & SPLICED AS NECESSARY.
- ALL MASONRY SHALL BE PLACED IN FULL MORTAR BED. TYPE M OR S SHALL BE USED.
- TYPICAL MASONRY REINFORCEMENT SPLICES SHALL BE AS FOLLOWS:  
#4 BARS – 24" LAP  
#5 BARS – 30" LAP  
#6 BARS – 36" LAP  
#7 BARS – 42" LAP  
#8 BARS – 48" LAP
- SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY CONTROL JOINTS AND BRICK EXPANSION JOINTS. ALL CONTROL AND EXPANSION JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE NATIONAL CONCRETE MASONRY ASSOCIATION. IN NO CASE SHALL EXTERIOR WALL JOINTS BE SPACED GREATER THAN 25 FEET AND INTERIOR WALL JOINTS SHALL NOT EXCEED 30 FEET ON CENTER.
- THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS FOR REINFORCEMENT SHOWING THE NUMBER, SIZE, AND LOCATION, INCLUDING BAR LISTS AND DIAGRAMS FOR THE COMPLETION OF WORK.
- ALL MASONRY OPENINGS SHALL BE PROVIDED WITH A "CASTCRETE" OR "POWERS STEEL" LINTEL BEAMS WITH (2) #5 REBAR.

STRUCTURAL & MISCELLANEOUS STEEL:

- ALL FRAMING AND MISCELLANEOUS STEEL SHALL BE WELDED WITH A FILLET ALL AROUND UNLESS NOTED OTHERWISE. WELD SIZE SHALL BE THE MAXIMUM ALLOWED BY THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" BASED ON THE THICKNESS OF THE MATERIAL.
- SHOP AND FIELD CONNECTIONS NOT DETAILED ON THE DRAWINGS MAY BE WELDED OR BOLTED. CUTS, HOLES, COPING, ETC., REQUIRED FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND BE FABRICATED IN THE SHOP. FIELD CUTTING AND/OR BURNING IS NOT PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE WEB REINFORCEMENT AT ALL OPENINGS IN STEEL MEMBERS INCLUDING BEAMS, JOISTS, AND GIRDERS.
- ALL STRUCTURAL STEEL BEAMS SHALL HAVE A YIELD STRESS OF 50 KSI. PLATES, ANGLES, AND MISC. STEEL SHALL COMPLY WITH THE LATEST EDITION OF ASTM A-36, UNLESS OTHERWISE NOTED. STEEL PIPES SHALL COMPLY WITH ASTM A-501. STEEL TUBES SHALL CONFORM TO ASTM A-500.
- STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF BEAM ELEVATIONS AS NOTED ON DRAWINGS. IN CASE OF A CONFLICT, THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID AND ADDRESS IT TO THE ENGINEER IN WRITING.
- ALL HARDWARE AND TIE DOWN STRAPS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
- ALL BEAM CONNECTIONS SHALL BE 3/4" DIAMETER BOLT OR SLIP CRITICAL TYPE CONNECTIONS A-325 BOLTS UNLESS NOTED OTHERWISE. ALL BEAM AND GIRDED CONNECTIONS UNLESS SHOWN OTHER DISTRIBUTED LOADING CAPACITY OF MEMBER FOR ITS SPAN AS PER THE AISC MANUAL OF STEEL CONSTRUCTION (LATEST EDITION). ALL OTHER CONNECTIONS THAT ARE NOT INDICATED SHALL BE BOLTED (3/4" DIAMETER) CONNECTIONS USING AN A-325 SLIP CRITICAL TYPE BOLT, UNLESS OTHERWISE NOTED.

STRUCTURAL NOTES

SCALE: N.T.S.



THE RICHARDSON RESIDENCE  
**44-B EUGENIA AVE.**  
NEW GENERATOR & PLATFORM

STRUCTURAL  
NOTES

PROJECT #:  
29xx

DATE:  
10.23.2025

DESIGN BY:  
...

SCALE:  
AS NOTED

SHEET:

**S-0.1**

RICK LAMBERT, P.E.  
CONSULTING ENGINEER  
1845 W. CANNING DR.  
MT. PLEASANT, S.C. 29464 843-822-7426

THESE DOCUMENTS ARE PREPARED FOR USE BY CLASSIC REMODELING & CONSTRUCTION, INC. (HEREINAFTER REFERRED TO AS CONTRACTOR) WITH THE ASSUMPTION THAT THIS PROJECT WILL BE BUILT ACCORDING TO THE MANAGEMENT SYSTEMS AND CONSTRUCTION TECHNIQUES OF CONTRACTOR. USE OF THE DOCUMENTS BY ANYONE OUTSIDE THE CONTRACTORS CONTROL SHALL RELIEVE CONTRACTOR OF ANY AND ALL LIABILITIES.

8. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS TO COMPLY WITH A.W.S. SPECIFICATIONS (LATEST EDITION). BOTH SHOP AND FIELD WELDER CERTIFICATIONS SHALL BE CURRENT UNTIL THE COMPLETION OF THE STEEL WORK AND MADE AVAILABLE UPON REQUEST OF THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO DELAY SHOP DRAWING APPROVAL IN THE ABSENCE OF THE REQUESTED CERTIFICATES.
9. ANCHOR BOLTS SHALL COMPLY WITH ASTM A-307.
10. FIELD SPLICES SHALL BE DESIGNED AND CONSTRUCTED TO DEVELOP THE FULL CAPACITY OF THE MEMBER IN BENDING, SHEAR, AND AXIAL LOADING TO COMPLY WITH THE AISC SPECIFICATIONS.
11. WEB STIFFENER PLATES ARE TO BE SUPPLIED BY THE CONTRACTOR AT THE END OF STEEL BEAM CANTILEVERS AND IN THE BENDS OF ALL CRIPPLED BEAMS (DIAGONALLY). THE STIFFENER PLATE THICKNESS SHALL EQUAL OR EXCEED THE FLANGE THICKNESS OF THE BEAM.
12. USE TWO SIDED WEB ANGLE CONNECTIONS FOR ALL BEAM CONNECTIONS PER AISC SPECIFICATIONS (LATEST EDITION) UNLESS OTHERWISE NOTED OR DETAILED.
13. E-70 ELECTRODES TO BE USED FOR ALL WELDING APPLICATIONS.
14. ALL STEEL DETAILS AND CONNECTIONS SHALL COMPLY WITH THE LATEST EDITION OF THE AISC SPECIFICATIONS.
15. THE CONTRACTOR SHALL SUBMIT DETAILED STRUCTURAL STEEL SHOP DRAWINGS TO INCLUDE COLUMNS, BEAMS, JOISTS, BRIDGING, DECKING, AND ANY CONNECTIONS. THESE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT. STEEL FABRICATOR SHALL SUPPLY EMBEDDED STEEL PLATE AND BRACKET LOCATION DRAWINGS. THE STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTION SHEETS, OR ERECTION PLANS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND ERECTION PROCEDURE PRIOR TO SUBMITTAL TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. THE CONTRACTOR PROCEEDING WITHOUT APPROVED SHOP DRAWINGS IN DOING SO AT HIS OWN RISK.
16. ALL STEEL BEAMS AND JOISTS GIRDER SHALL BEAR FULLY ON STEEL BEARING PLATES (TYPICALLY).
17. A CONTINUOUS 3/8" PLATE SHALL BE SHOP WELDED TO THE BOTTOM FLANGE OF ALL BEAMS SUPPORTING MASONRY UNLESS NOTED OTHERWISE.
18. THE ENGINEER SHALL VERIFY THAT JOIST AND BEAM BEARING ELEVATIONS ENSURE PROPER ROOF SLOPES TO ALLOW FOR DRAINAGE AND CORRECT FLOOR ELEVATIONS. SEE ARCHITECTURAL DRAWINGS FOR FLASHING, ROOFING, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL PLANS.
19. FOR ALL STEEL BEAM LOCATIONS, INSTALL STIFFENER PLATES ON EACH SIDE OF THE WEB AT SUPPORTS AND LOCATIONS OF POINT LOADS FROM BEAMS AND COLUMNS.
20. A NON-SHRINK GROUT SHALL BE PLACED UNDER ALL COLUMN BASE PLATES AFTER THE STEEL IS SET, PLUMB AND LEVEL.
21. GALVANIZED HURRICANE ANCHORS (SIMPSON TYPE H2.5 OR H10) SHALL BE USED FOR ALL RAFTER ANCHORAGES AT INTERSECTIONS WITH ALL WALLS OR BEAMS. STAINLESS STEEL (S.S.) HURRICANE ANCHORS SHALL BE USED IN AREAS EXPOSED TO THE ATMOSPHERE, FASTENED WITH (S.S.) RING SHANK NAILS.
22. ALL WELDS THAT ARE APPLIED TO ANY EXPOSED STEEL MEMBER SHALL BE FIELD COATED WITH A ZINC RICH PAINT.
23. ALL STEEL BEAMS AND STEEL COLUMNS SHALL BEAR ON STEEL PLATES (MIN. SIZE 7"x12"x1/2"). SHOP DRAWINGS TO BE APPROVED BY THE ARCHITECT/ENGINEER.
24. ALL STRUCTURAL STEEL SHALL BE DELIVERED WITH ONE COAT OF PRIMER & SHALL BE FIELD PAINTED W/ 2 COATS OF PAINT. TOUCH UP AFTER ERECTION.
25. COLD-FORMED METAL STUDS SHALL CONFORM TO ASTM A653 (Fy = 33.0 KSI) AND SHALL BE CLARK PCS SERIES (1-5/8" FLANGES & 1/2" LIPS) SIZED AS INDICATED OR APPROVED EQUAL.

WOOD / LUMBER:

1. ALL LUMBER SHALL BE CONTINUOUS WITHOUT SPLICES EXCEPT AS NOTED ON THE STRUCTURAL PLANS OR DETAILS.
2. ALL WOOD FRAMING SHALL BE SOUTHERN YELLOW PINE #1 NON-DENSE OR #2 DENSE UNLESS NOTED OTHERWISE.
3. ALL TREATED WOOD SHALL COMPLY WITH THE LATEST EDITION OF CODES. FOR LOCATIONS OF TREATED WOOD, SEE THE ARCHITECTURAL DRAWINGS & STRUCTURAL DRAWINGS.
4. WHERE CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS, SUBFLOORING OR METAL STRAPS ATTACHED TO THE END OF THE RAFTERS SHALL BE INSTALLED TO PROVIDE A CONTINUOUS TIE ACROSS THE BUILDING THEREBY PREVENTING THE ROOF RAFTERS FROM SPREADING APART. WHERE THE CEILING JOISTS ARE NOT PROVIDED AT THE TOP OF THE RAFTER SUPPORT WALLS, THE RIDGE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY DESIGNED RIDGE BEAM. SEE STRUCTURAL DRAWINGS.
5. SOLID BLOCKING TO BE PROVIDED BETWEEN ALL FLOOR JOISTS AT MID-SPAN AND ALL LINES OF JOIST SUPPORT EVEN IF NOT SHOWN ON THE SECTION OR DETAIL DRAWINGS. BLOCKING MAY NOT BE SHOWN ON THE STRUCTURAL SECTIONS OR DETAILS FOR CLARITY.
6. ALL NAILING SHALL COMPLY WITH THE STANDARDS SET FORTH IN THE LATEST EDITION OF THE BUILDING CODES.
7. WOOD MEMBERS SHALL NOT BE LESS THAN 6" FROM FINISHED GRADE EXCEPT WHERE SIDING, SHEETING, AND WALL FRAMING OF AN APPROVED PRESSURE TREATED OR NATURALLY DURABLE WOOD PRODUCT.
8. EXTERIOR WALLS TO BE SHEETED W/ 1/2" EXTERIOR GRADE PLYWOOD WITH BLOCKING AT ALL JOINTS. THE CONTRACTOR SHALL ATTACH WALL SHEETING W/ 8d NAILS @ 4" O.C. ALONG SHEETING EDGES AND 8" O.C. AT INTERMEDIATE STUDS, UNLESS THERE IS ANOTHER LAMINATED VENEER LUMBER (LVL) OR GLULAMS IF CALLED FOR SHALL BE EQUAL TO NAILING PATTERN INDICATED ON THE DRAWINGS. ALL NAILS SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED OTHERWISE.
9. INSTALL EXTRA CONTINUOUS STUDS, NOT JACK STUDS. STUDS SHALL BE INSTALLED AT ALL JAMBS TO REPLACE THE TYPICALLY PLACED STUDS INTERRUPTED BY THE OPENING.
10. PLYWOOD FLOORING SHALL BE 3/4" TONGUE AND GROOVE EXTERIOR GRADE STURD-I-FLOOR. ALL FLOOR DECKING SHALL BE GLUED AND FASTENED WITH RING-SHANK NAILS AT ALL SUPPORTS WITH A NAILING PATTERN OF 8d NAILS @ 6" O.C. ALONG EDGES AND 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS/JOISTS UNLESS OTHERWISE NOTED.
11. EXTERIOR WALLS SHALL BE TIED TO GIRDERS WITH SIMPSON LSTA30 (OR EQUAL) STRAP TIES (FASTENED DIRECTLY TO STUD) AT 6'-0" O.C. AND TIED WITH 1/2" CDX PLYWOOD FROM TOP PLATE TO CMU WALL TIMBER PLATE. EXTERIOR GIRDERS BETWEEN FLOORS TIED W/ SIMPSON LSTA30 (OR EQUAL) STRAP TIES AT MAX. 6'-0" O.C.
12. ENGINEERED BEAMS SHALL BE LVL OR PSL WITH 2800 PSI BENDING STRESS, 285 PSI SHEAR STRESS, OR EQUAL. 2,000,000 PSI MODULUS OF ELASTICITY BY TRUSS JOIST MACMILLAN.
13. NON-TREATED WOOD MEMBERS SUPPORTED ON MASONRY SHALL BEAR ON TREATED TIMBER PLATES.
14. FLOOR JOISTS SHALL BE FASTENED TO SUPPORTS WITH HURRICANE ANCHORS (SIMPSON TS12 OR EQUAL).
15. ALL PLYWOOD SHEETING SHALL HAVE 1/8" SPACE BETWEEN SHEETS (EXCEPT FOR AREAS THE CALL FOR T & G PLYWOOD).
16. ALL ROOF RAFTER ENDS SHALL BE ANCHORED WITH WIND UPLIFT ANCHOR BY SIMPSON OR EQUAL. SUCH ANCHORS SHALL BE USED AT JOINTS BETWEEN PLATES, STUDS, AND SILL PLATES TO PROVIDE A PATH OF UNBROKEN UPLIFT RESISTANCE FROM THE ROOF TO THE FOUNDATION.
17. ROOF FRAMING SHALL BE SHEETED W/ 5/8" CDX PLYWOOD AND FASTENED W/ 10d NAILS AT 4" O.C. ALONG ALL EDGES AND 8" O.C. ALONG INTERMEDIATE MEMBERS. ALL EDGES TO BE NAILED AROUND PERIMETER EDGES OF THE ROOF'S 1ST SHEET OF PLYWOOD. (PROVIDE BLOCKING AS NECESSARY).
18. LOAD BEARING WALLS AND/OR SHEAR WALLS LOCATED PERPENDICULAR TO FLOOR JOISTS SHALL HAVE SOLID BLOCKING SECURELY PLACED BETWEEN THE FLOOR MEMBERS. THIS SOLID WOOD BLOCKING SHALL BE FOR THE FULL DEPTH OF THE FLOOR MEMBERS AND BE LOCATED DIRECTLY UNDER THE WALL FOR THE FULL BEARING WIDTH AND LENGTH OF THE WALL CONSTRUCTION.

SEISMIC DESIGN DATA

1. SEISMIC ZONE = D2
2. SITE CLASS = D (STIFF SOIL PROFILE)
3. BASIC SEISMIC FORCE RESISTING SYSTEM = LIGHT - FRAMED WALLS WITH SHEAR PANEL.
4. ANALYSIS PROCEDURE = SIMPLIFIED ANALYSIS PROCEDURE
5. RESPONSE MODIFICATION FACTOR (R) = 6.0

WIND LOAD DESIGN DATA

1. DESIGN WIND SPEED PER 2021 IRC / ASCE 7-16.
2. WIND EXPOSURE = EXPOSURE B. V-ULT. = 150mph

SNOW LOAD DESIGN DATA

1. GROUND SNOW LOAD = 5 PSF

FOUNDATION DESIGN DATA

1. ALLOWABLE SOIL BEARING PRESSURE = 1500 PSF\* (\*PRESUMED - A SOILS REPORT WAS NOT AUTHORIZED BY THE OWNER)

LOAD DATA

1. ROOF LIVE LOAD = 20 PSF
2. FLOOR LIVE LOAD = 40 PSF
3. DEAD LOAD = ACTUAL SELF WEIGHT
4. ATTIC LIVE LOAD = 20 PSF
5. THIS PROJECT HAS BEEN DESIGNED TO MEET THE STRUCTURAL REQUIREMENTS OF THE 2021 IRC.

FLOOD DATA

1. THIS PROPERTY IS LOCATED IN AN AE-10 FLOOD ZONE (45019C0805K 01.31.21)
2. FIRST FLOOR ELEV IS 12.3' NAVD '88

STRUCTURAL NOTES  
SCALE: N.T.S.



THE RICHARDSON RESIDENCE  
**44-B EUGENIA AVE.**  
NEW GENERATOR & PLATFORM

STRUCTURAL NOTES

PROJECT #:  
29xx

DATE:  
10.23.2025

DESIGN BY:  
...

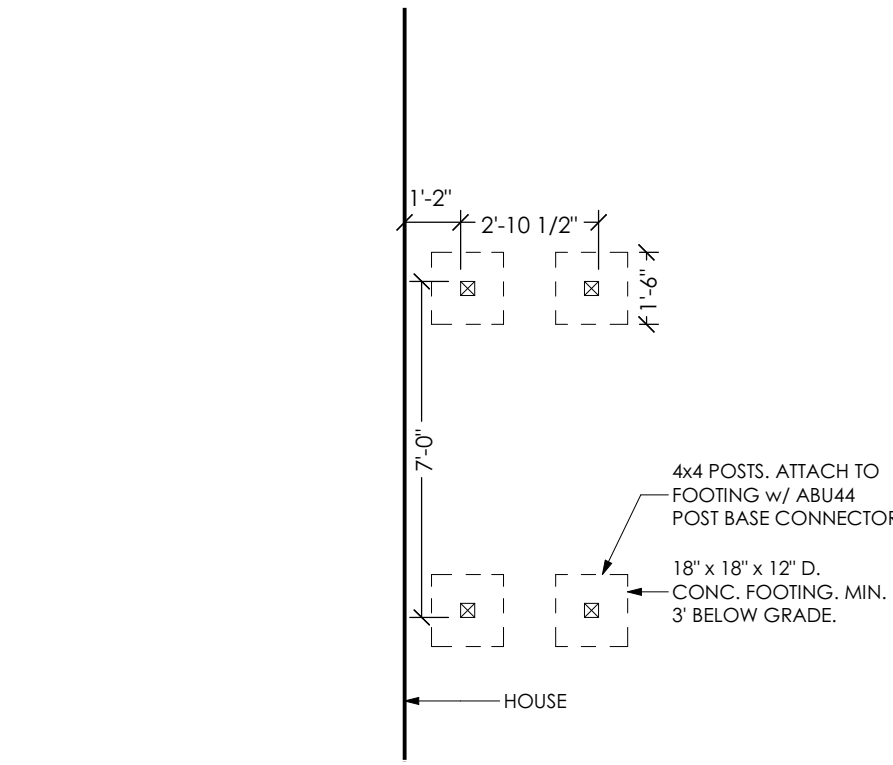
SCALE:  
AS NOTED

SHEET:

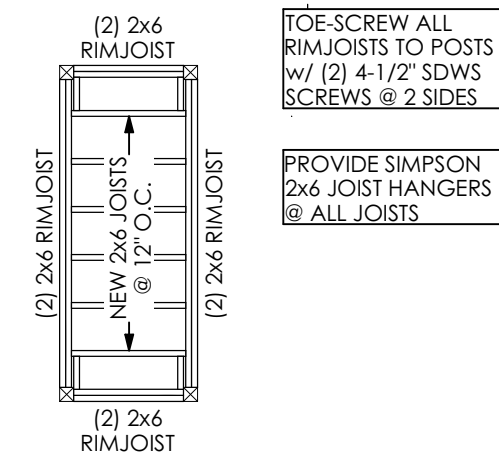
**S-0.2**

RICK LAMBERT, P.E.  
CONSULTING ENGINEER  
1845 W. CANNING DR.  
MT. PLEASANT, S.C. 29464 843-822-7426

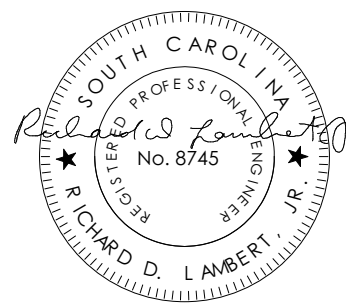
THESE DOCUMENTS ARE PREPARED FOR USE BY CLASSIC REMODELING & CONSTRUCTION, INC. (HEREINAFTER REFERRED TO AS CONTRACTOR) WITH THE ASSUMPTION THAT THIS PROJECT WILL BE BUILT ACCORDING TO THE MANAGEMENT SYSTEMS AND CONSTRUCTION TECHNIQUES OF CONTRACTOR. USE OF THE DOCUMENTS BY ANYONE OUTSIDE THE CONTRACTORS CONTROL SHALL RELIEVE CONTRACTOR OF ANY AND ALL LIABILITIES.



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



FRAMING PLAN  
SCALE: 1/4" = 1'-0"



THE RICHARDSON RESIDENCE  
**44-B EUGENIA AVE.**  
NEW GENERATOR & PLATFORM

STRUCTURAL PLANS

PROJECT #:  
29xx

DATE:  
10.23.2025

DESIGN BY:  
...

SCALE:  
AS NOTED

SHEET:

**S-1.0**

RICK LAMBERT, P.E.  
CONSULTING ENGINEER  
1845 W. CANNING DR.  
MT. PLEASANT, S.C. 29464 843-822-7426

## LETTER OF INTENT

### Board of Zoning Appeals Variance Application

**Date:** November 6, 2025

**Town of Kiawah Island Board of Zoning Appeals** Town of Kiawah Island Municipal Center  
4475 Betsy Kerrison Parkway Kiawah Island, SC 29455

**RE:** Variance Request for Side Building Setback Encroachment - Whole House Generator Installation **Property Address:** 44-B Eugenia Avenue, Johns Island, SC **Tax Map Number:** 209-05-00-101 **Property Owner:** RICHARDSON JEROME J JR TRUST (Kathleen Richardson)

I am respectfully requesting a variance from the Town of Kiawah Island Land Use Planning and Zoning Ordinance to allow for the installation of a new, enclosed residential backup generator and equipment platform that will encroach into the required 10-foot side building setback.

As detailed on the attached Proposed Site Plan (Sheet A-1.0), the existing side setback requirement is 10 feet. To meet necessary operational clearances, the generator stand is proposed to be located **6 feet, 2.5 inches (6'-2 1/2")** from the left side property line.

This positioning requires a variance of **3 feet, 9.5 inches (3'-9 1/2")** into the required 10-foot side setback, resulting in an encroachment area of approximately **22 square feet** as noted on the plans.

The generator is an essential piece of infrastructure designed to provide reliable backup power during severe weather events and extended power outages, which are frequent occurrences on Kiawah Island. The proposed location is the only feasible and safe option due to the existing home's configuration and the need to maintain essential operational and code-required clearances.

### VARIANCE CRITERIA ANALYSIS

Pursuant to Chapter 12 of the Town of Kiawah Island Land Use Planning and Zoning Ordinance, Section 12-163(4), we respectfully submit the following responses demonstrating that this variance request meets all required approval criteria:

#### **(a) There are extraordinary and exceptional conditions pertaining to the particular piece of property**

There are extraordinary and exceptional conditions pertaining to this property that necessitate this variance request:

- **Existing Building Footprint:** The existing home's structure and elevated design severely limit options for placing a generator that maintains necessary distance from the structure itself, especially in a side yard setting.
- **Required Clearances:** The proposed generator must adhere to strict manufacturer and safety code requirements (NEC, IRC) regarding clearance from flammable materials, windows/doors/vents, and utilities. The installation of the platform and generator at the proposed location is the minimum necessary distance to meet these non-negotiable safety and operational standards while fitting within the limited available area.
- **Utility Infrastructure:** The location is dictated by its proximity to existing electrical infrastructure (meter) and the most efficient path for gas and electrical lines, minimizing disruption and cost.

**(b) These conditions do not generally apply to other property in the vicinity**

While other properties on Eugenia Avenue may possess similar building setbacks, the combination of this specific home's floorplan, its fixed orientation on the lot, and the critical need to comply with essential generator safety clearances creates a unique and exceptional constraint on the utilization of the available side setback area.

**(c) Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property**

Because of these extraordinary conditions, strict application of the 10-foot side setback ordinance would effectively prohibit the reasonable utilization of the property's infrastructure:

- **Prohibition of Essential Infrastructure:** Strict adherence would prevent the installation of essential backup power infrastructure, unreasonably restricting the utilization and habitability of the home during frequent power outages associated with severe weather.
- **No Compliant Alternative:** Relocating the generator to a position that fully complies with the 10-foot setback would either: (1) place it too close to the main dwelling or utility lines, violating safety and fire codes, or (2) place it in an entirely impractical or un-serviceable location, rendering the installation infeasible.

**(d) The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district will not be harmed by the granting of the variance**

outages associated with severe weather.

⌚ **No Compliant Alternative:** Relocating the generator to a position that fully complies with the 10-foot setback would either: (1) place it too close to the main

The authorization of this minor variance will not be a substantial detriment to adjacent property or to the public good, and the character of the zoning district will not be harmed: ~~dwelling or utility lines, violating safety and fire codes, or (2) place it in an entirely impractical or un-serviceable location, rendering the installation infeasible.~~

• **Minimal Encroachment:** The requested variance of 3 feet, 9.5 inches is minimal and is necessary to accommodate a structure (a generator stand) that is approximately 22 square feet in size.

- **Visual and Sound Mitigation:** The generator will be mounted on a stand and fully screened on all three exposed sides with a 1x6 painted screen to minimize any immediate visual impact. Furthermore, the homeowner is working with a **licensed landscape architect** and will be providing a detailed planting plan to further conceal the visual and auditory presence of the generator on the lot.
- **Adjacent Property Owner Support:** The homeowner also owns the adjacent property (Lot 2) and has submitted a letter confirming review of the plans and explicitly stating that they have no issue with the proposed variance, ensuring no detriment to the closest neighbor.
- **Noise Impact:** Modern generators are designed to operate at acceptable noise levels and will only run during power loss events or short, automated, weekly testing periods.
- **Enhanced Public Good:** The installation of reliable backup power enhances the safety and resilience of the home, which is consistent with the public good, particularly during island-wide storm events.

**(e) The Board of Zoning Appeals shall not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land, or to change the zoning district boundaries shown on the official zoning map**

This variance request seeks to permit an accessory structure (a residential backup generator) which is a use already permitted in the residential zoning district. It does not seek to establish a new use, extend a nonconforming use, or alter zoning boundaries.

**(f) The fact that property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance**

The need for this variance is based purely on functional necessity and emergency preparedness for the existing residential use, not for economic gain or profitability.

**(g) The need for the variance shall not be the result of the applicant's own actions**

The need for this variance is not the result of the owner's own actions:

- **Pre-existing Constraints:** The factors limiting placement (the existing dwelling location, lot size, and necessary utility clearances) are conditions that pre-date this application.
- **Standard Necessity:** The desire to install backup power is a reasonable and now standard residential improvement on Kiawah Island, and the variance is required solely to meet essential, mandated safety and operational clearances at the only viable location.

**(h) Granting the variance will not be contrary to the public or neighborhood interest nor will not adversely affect other property in the vicinity, nor interfere with the harmony, spirit, intent and purpose of these regulations**

Granting this variance will not be contrary to the public or neighborhood interest:

- **Minimal Intrusion:** The minor, screened encroachment (3'-9 1/2") on the side setback is situated between two structures and will not interfere with light, air, or access for the neighboring property. The applicant's dual ownership of the adjacent lot guarantees neighborhood harmony.
- **Responsible Improvement:** The project represents a responsible improvement to the property, supporting safety and livability without compromising the residential character or the intent of the zoning regulations, which aim to protect the quality of life and aesthetics of the Town.

**(i) Granting of the variance does not substantially conflict with the Comprehensive Plan or the purposes of this Ordinance**

Granting this variance does not substantially conflict with the Town's Comprehensive Plan or the purposes of the Zoning Ordinance:

- **Infrastructure and Resilience:** The installation of backup power aligns with the Comprehensive Plan's goals of providing adequate infrastructure and enhancing community resilience, especially in a coastal environment prone to power disruption.
- **Orderly Development:** The variance supports orderly development by allowing necessary safety infrastructure under conditions where strict compliance is impractical, all while mandating aesthetic screening measures (including the Landscape Architect-designed planting plan) to mitigate visual impact.

## **CONCLUSION**

Based on the analysis above, we respectfully submit that this variance request meets all required criteria under South Carolina law and the Town of Kiawah Island Zoning Ordinance. The practical difficulty—stemming from the need to meet non-negotiable safety and operational clearances for essential infrastructure within a constrained side yard—makes strict compliance with the 10-foot setback impossible.

The proposed generator will be appropriately screened and located at the only feasible point on the property, and the minimal encroachment will have no substantial detriment to adjacent property or the public good. The adjacent property owner, who is also the applicant, confirms that the variance will have no adverse effect on the neighboring lot.

I respectfully request the Board of Zoning Appeals grant this variance to allow the installation of the proposed generator at the location shown on the attached site plan. Thank you for your consideration of this request. I am available to answer any questions and provide additional information as needed.

Respectfully Submitted,

Ben Dammeyer

Architectural Draftsman

ben@classicremodeling.com

843.906.9390

**On behalf of:** The Richardson Residence, 44-B Eugenia Avenue, Kiawah Island, SC 29455

## **ATTACHMENTS**

1. Proposed Site Plan and Generator Details (Sheet A-1.0)
2. Current Approved Plat of the Property
3. Letter from Adjacent Property Owner stating no objection
4. Preliminary Landscape/Planting Plan (to be submitted by owner separately)

PREPARED BY:  
Buist, Byars & Taylor, LLC  
130 Gardener's Cir., PMB 138  
John's Island, SC 29455  
2015040064



# PGS:

5

STATE OF SOUTH CAROLINA )  
 )  
COUNTY OF CHARLESTON )

TITLE TO REAL ESTATE

KNOW ALL MEN BY THESE PRESENTS, that **CRG Partners, LLC (a South Carolina limited liability company)**, in the State aforesaid, for/and in consideration of the sum of One Million Six Hundred Sixty Thousand and 00/100 DOLLARS (\$1,660,000.00), to it in hand paid at and before the sealing of these Presents by **Kathleen Crouch Richardson and Brown Brothers Harriman Trust Company, N.A., as Co-Trustees of the Jerome J. Richardson, Jr., Marital Trust U/T/A dated September 22, 2000, as amended**, in the State aforesaid, the receipt whereof is hereby acknowledged, has granted, bargained, sold and released, and by these Presents does grant, bargain, sell and release unto the said **Kathleen Crouch Richardson and Brown Brothers Harriman Trust Company, N.A., as Co-Trustees of the Jerome J. Richardson, Jr., Marital Trust U/T/A dated September 22, 2000, as amended**, the following described property, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO  
AND INCORPORATED HEREIN BY REFERENCE FOR LEGAL DESCRIPTION.

TMS Number: 209-05-00-101

Address of Grantee(s): 3445 Wynington Drive  
Charlotte, NC 28226

This is the same property conveyed to the Grantor(s) by deed of conveyance from Robert A. Kennedy, Sr. and Bette T. Kennedy, dated February 28, 2001, and recorded in Book E365, page 530, in the RMC Office for Charleston County, South Carolina.

TOGETHER with all and singular, the rights, members, hereditaments and appurtenances to the said premises belonging or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular, the said Premises before mentioned unto the said **Kathleen Crouch Richardson and Brown Brothers Harriman Trust Company, N.A., as Co-Trustees of the Jerome J. Richardson, Jr., Marital Trust U/T/A dated September 22, 2000, as amended**, their successors in trust and assigns, forever.

AND subject to the exceptions set forth above, it does bind itself and its successors, executors, and administrators, to warrant and forever defend, all and singular, the premises before mentioned unto the said **Kathleen Crouch Richardson and Brown Brothers Harriman Trust Company, N.A., as Co-Trustees of the Jerome J. Richardson, Jr., Marital Trust U/T/A dated September 22, 2000, as amended**, their successors in trust and assigns, against it and its successors, and all persons whomsoever lawfully claiming, or to claim the same or any part thereof.



**EXHIBIT A**

ALL that certain piece, parcel and lot of land, together with the buildings and improvements thereon, situate, lying and being on the North side of Eugenia Avenue, Kiawah Island, SC, and designated as Lot 1-B as per plat entitled "A Subdivision Plat of Lot 1 Block "G" Eugenia Avenue, Containing 0638 Acres..." prepared by Southeastern Surveying, Inc., dated October 13, 1993, with latest revision dated November 2, 1993, and recorded in Plat Book EA at page 946 in the RMC Office for Charleston County, South Carolina.

BUTTING, BOUNDING, MEASURING AND CONTAINING as by reference to said plat will more fully appear.

**AFFIDAVIT FOR TAXABLE OR EXEMPT TRANSFERS**

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this Affidavit and I understand such information.
2. The property is being transferred is located at 44 B Eugenia Avenue, Kiawah Island bearing Charleston, County Tax Map Number 209-05-00-101, was transferred by **CRG Partners, LLC** to **Kathleen Crouch Richardson** on **May 22, 2015**.
3. Check one of the following: The deed is
  - (a) X subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
  - (b) \_\_\_ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as distribution to a trust beneficiary.
  - (c) \_\_\_ exempt from the deed recording fee because (See Information section of affidavit): \_\_\_\_\_ (If exempt, please skip items 4-7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty? Check Yes \_\_\_\_\_ or No \_\_\_\_\_

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See information section of this affidavit.):
  - (a) X The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$1,660,000.00
  - (b) \_\_\_ The fee is computed on the fair market value of the realty which is \$ \_\_\_\_\_.
  - (c) \_\_\_ The fee is computed on the fair market value of the realty as established for property tax purposes which is \$ \_\_\_\_\_.

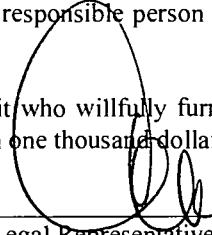
5. Check YES \_\_\_ or NO X to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer and remained on the land, tenement, or realty after the transfer. If YES, the amount of the outstanding balance of this lien or encumbrance is \$ \_\_\_\_\_.

6. The deed recording fee is computed as follows:
  - (a) Place the amount listed in item 4 above here: 1,660,000.00
  - (b) Place the amount listed in item 5 above here: \_\_\_\_\_  
(If no amount is listed, place zero here.)
  - (c) Subtract line 6(b) from Line 6(a) and place result here: 1,660,000.00

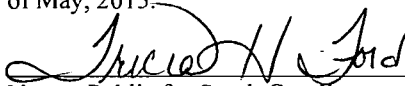
7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is: 6,142.00

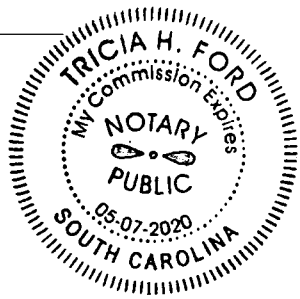
8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as : Legal Representative

9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than one thousand dollars or imprisoned not more than one year, or both.

  
 \_\_\_\_\_  
 Legal Representative  
 Buist, Byars & Taylor, LLC  
 Print Name

Sworn to before me this 22<sup>nd</sup> day of May, 2015.

  
 \_\_\_\_\_  
 Notary Public for South Carolina  
 My Commission Expires: \_\_\_\_\_



# RECORDER'S PAGE



**NOTE:** This page **MUST** remain with the original document

**Filed By:**

BUIST BYARS & TAYLOR, LLC  
 FRESHFIELDS VILLAGE  
 130 GARDNER'S CR PMB 138  
 JOHNS ISLAND SC 29455 (BOX)

<b>RECORDED</b>		
Date:	May 26, 2015	
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0478	252	Deed
Charlie Lybrand, Register Charleston County, SC		

**MAKER:**

CRG PARTNERS LLC

# of Pages: 5

Note:

**RECIPIENT:**

RICHARDSON KATHLEEN TR AL

Recording Fee	\$ 10.00
State Fee	\$ 4,316.00
County Fee	\$ 1,826.00
Extra Pages	\$ -
Postage	\$ -
Chattel	\$ -
<b>TOTAL</b>	<b>\$ 6,152.00</b>

Original Book:

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AUDITOR STAMP HERE

**RECEIVED From RMC**

**MAY 27 2015**

PETER J. TECKLENBURG  
Charleston County Auditor

PID VERIFIED BY ASSESSOR

REP: **MAY 28 2015**

DATE: **ASTRJB**

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Board of Zoning Appeals

Designation of Agent

*(Complete only if owner is not applicant)*

*I hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.*

BEN DAMMEYER

11/7/25

[Applicant Print Name]

[Date]

KATHLEEN RICHARDSON

11/7/25

[Owner Print Name]

[Date]

44-B EUGENIA

KIAWAH ISLAND SC 29455

[Owner Mailing Address]

[City, State, ZIP Code]

KRICHAR665@AOL.COM

[Owner Email Address]

*Kathleen Richardson*

[Owner Signature]

To Whom It May Concern:

I am writing to express my full support for the proposed installation of a generator and generator stand at 44-B Eugenia Avenue.

I have reviewed the project plans, which I understand require a zoning variance pertaining to the side yard setback.

As an adjacent property owner, I have no concern regarding this proposed placement or the necessary variance. I find the project to be non-objectionable and believe it will not negatively impact my property or the character of the neighborhood.

Based on my review, I see no reason why this zoning variance should not be granted.

Thank you for your consideration of this matter.

Respectfully,

*Kathleen Richardson*

Kathleen Richardson

Owner of 46 Eugenia Avenue (Adjacent Property Owner)

Owner of 44-B Eugenia Avenue (Applicant/Property Owner)

<b>Title</b>	Richardson - Zoning Variance Letter
<b>File name</b>	44b_Eugenia_-_Zoning_Letter.pdf
<b>Document ID</b>	f325441c798e92a7048f783f30bd253e360f37b8
<b>Audit trail date format</b>	MM / DD / YYYY
<b>Status</b>	● Signed

## Document History



SENT

 11 / 06 / 2025  
 21:09:47 UTC

Sent for signature to Kathleen Richardson  
 (krichar665@aol.com) from christy@classicremodeling.com  
 IP: 173.10.248.249



VIEWED

 11 / 06 / 2025  
 23:12:54 UTC

Viewed by Kathleen Richardson (krichar665@aol.com)  
 IP: 104.139.70.13



SIGNED

 11 / 06 / 2025  
 23:13:11 UTC

Signed by Kathleen Richardson (krichar665@aol.com)  
 IP: 104.139.70.13



COMPLETED

 11 / 06 / 2025  
 23:13:11 UTC

The document has been completed.